

# Merrikin Engineering, LLP

*Consulting Engineers*

730 MAIN STREET  
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883  
FAX (508) 376-8823

July 19, 2018

Millis Conservation Commission  
900 Main Street  
Town Offices  
Millis, MA 02054

Ref: Notice of Intent  
Acorn Place

Dear Members of the Commission:

On behalf of the applicant, Acorn Millis Residential, LLC, we are pleased to submit the enclosed Notice of Intent under the Town of Millis Wetlands Protection Bylaw (Article XIX) to perform work associated with the construction of 48 senior residential units. Note that there are no state jurisdictional wetlands on the site, so the application is under the bylaw only. Please find the following enclosed in support of the application:

- Four copies of a Notice of Intent booklet which contains the fully executed Form 3 Notice of Intent and a variety of supporting information and attachments;
- Two full-size and four 11x17 copies of the site plan; and
- One copy of the stormwater report.

Please do not hesitate to contact me if you have any questions or comments.

Sincerely,

Daniel J. Merrikin P.E.

cc: File  
Acorn Millis Residential, LLC (by email)

# NOTICE OF INTENT

FOR

## *ACORN PLACE* *MILLIS, MA*

*PROPOSED CONSTRUCTION OF A SENIOR  
RESIDENTIAL COMMUNITY*

JULY 19, 2018

PREPARED BY:  
MERRIKIN ENGINEERING, LLP  
CONSULTING ENGINEERS  
730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054

PREPARED FOR:  
ACORN MILLIS RESIDENTIAL, LLC  
38 BENJAMINS GATE  
MILLIS, MA 02054

Form 3 Application is submitted under the Millis Wetlands Protection By-law only

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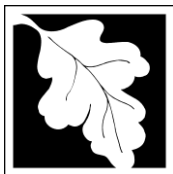
# FORM 3: NOTICE OF INTENT

Supplemental Information Referenced in the Notice of Intent:

Form 3 – Notice of Intent pursuant the Town of Millis Wetlands Protection By-law. The following identifies additional information pursuant to the various sections within Form 3:

- A.3 Owner information:
  - Brian Dmytryck
    - 1275 Main Street Millis, MA 02054
    - 508-376-5197
  - Acorn of Millis, LLC
    - 275 Turnpike Street, Suite300 Canton, MA 02021
    - 617-217-0725
    - bobfoxden@gmail.com
- A.6 See the Narrative Description for additional description of the proposed redevelopment
- D.1 See Appendix B for locus maps
- D.2 See Appendix D for the site plan
- D.3 See the Narrative Description for a discussion of the resource areas on the site
- D.4 The plans and supporting information submitted within this application are identified in the various Appendices noted herein





**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection – Wetlands**

**WPA Form 3 – Notice of Intent**

**Massachusetts Wetlands Protection Act M.G.L. c. 131, §40**  
**Town of Millis Wetland Protection Bylaw**

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Millis

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

Acorn Street

a. Street Address

Millis

b. City/Town

02054

c. Zip Code

Latitude and Longitude:

42.1523

d. Latitude

71.3727

e. Longitude

31-127, 31-128, 31-129, 34-10 and a portion of 34-126

g. Parcel /Lot Number

2. Applicant:

Robert

a. First Name

Fox

b. Last Name

Acorn Millis Residential, LLC

c. Organization

38 Benjamins Gate

d. Street Address

Plymouth

e. City/Town

MA

f. State

02360

g. Zip Code

617-217-0725

h. Phone Number

n/a

i. Fax Number

bobfoxden@gmail.com

j. Email Address

3. Property owner (required if different from applicant):

☒ Check if more than one owner

Brian

a. First Name

Dmytryck

b. Last Name

c. Organization

1275 Main Street

d. Street Address

Millis

e. City/Town

MA

f. State

02054

g. Zip Code

508-376-5197

h. Phone Number

n/a

i. Fax Number

n/a

j. Email address

4. Representative (if any):

Daniel

a. First Name

Merrikin

b. Last Name

Merrikin Engineering LLP

c. Company

730 Main Street, Suite 2C

d. Street Address

Millis

e. City/Town

MA

f. State

02054

g. Zip Code

508-376-8883

h. Phone Number

N/A

i. Fax Number

dan@me-llp.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$0.00

a. Total Fee Paid

\$0.00

b. State Fee Paid

\$0.00

c. City/Town Fee Paid



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### **A. General Information (continued)**

6. General Project Description:

Construction of a 48 unit senior residential community.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- |   |   |
|---|---|
| 1. <input type="checkbox"/> Single Family Home                        | 2. <input type="checkbox"/> Residential Subdivision       |
| 3. <input type="checkbox"/> Commercial/Industrial                     | 4. <input type="checkbox"/> Dock/Pier                     |
| 5. <input type="checkbox"/> Utilities                                 | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation                |
| 9. <input checked="" type="checkbox"/> Other                          |   |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk

a. County

32543-200, 34694-367

c. Book

n/a

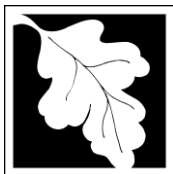
b. Certificate # (if registered land)

d. Page Number

### **B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

1. ☒ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
2. ☐ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection – Wetlands**

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

☐ 25 ft. - Designated Densely Developed Areas only

☐ 100 ft. - New agricultural projects only

☐ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet \_\_\_\_\_ b. square feet within 100 ft. \_\_\_\_\_ c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI? ☐ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☐ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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### B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings	b. number of replacement stream crossings



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### C. Other Applicable Standards and Requirements

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Notice of Intent – Required Actions (310 CMR 10.11).

#### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a. ☐ Yes ☒ No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581

2008

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.1.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a) ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☐ Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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**C. Other Applicable Standards and Requirements (cont'd)**

- (c) ☐ MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/ mesa/ mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_fee_schedule.htm)).  
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d) ☐ Vegetation cover type map of site
- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. ☐ Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/ mesa/ mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
2. ☐ Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_
3. ☐ Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. ☒ Not applicable – project is in inland resource area only      b. ☐ Yes    ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

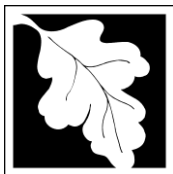
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
1213 Purchase Street – 3rd Floor  
New Bedford, MA 02740-6694  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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**Bureau of Resource Protection – Wetlands**

**WPA Form 3 – Notice of Intent**

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**Town of Millis Wetland Protection Bylaw**

Provided by MassDEP:

MassDEP File Number

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Millis

City/Town

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. ☐ Yes ☒ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. ☒ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2. ☐ A portion of the site constitutes redevelopment
  3. ☐ Proprietary BMPs are included in the Stormwater Management System.
- b. ☐ No. Check why the project is exempt:
1. ☐ Single-family house
  2. ☐ Emergency road repair
  3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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### **D. Additional Information (cont'd)**

3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
4. ☐ List the titles and dates for all plans and other materials submitted with this NOI.
- |   |                                   |
|---|-----------------------------------|
| Acorn Place Plan of Land in Walpole, MA |                                   |
| a. Plan Title                           |                                   |
| b. Prepared By                          | Daniel J. Merrikin P.E.           |
| c. Signed and Stamped by                |                                   |
| d. Final Revision Date                  | As noted                          |
| e. Scale                                |                                   |
| f. Additional Plan or Document Title    | Stormwater Report for Acorn Place |
| g. Date                                 | July 16, 2018                     |
5. ☐ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☒ Attach Stormwater Report, if needed.

### **E. Fees**

1. ☐ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

n/a	n/a
2. Municipal Check Number	3. Check date
n/a	n/a
4. State Check Number	5. Check date
n/a	n/a
6. Payor name on check: First Name	7. Payor name on check: Last Name





~~Massachusetts Department of Environmental Protection~~  
~~Bureau of Resource Protection - Wetlands~~  
**WPA Form 3 – Notice of Intent**  
~~Massachusetts Wetlands Protection Act M.G.L. c. 131, §40~~

Provided by MassDEP:
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## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant ~~in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).~~

I further certify under penalties of perjury that all abutters were notified of this application, ~~pursuant to the requirements of M.G.L. c. 131, § 40.~~ Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant *Robert Fox MGR*

3. Signature of Property Owner (if different) *B. Dwyer*

5. Signature of Representative (if any) *Donal*

2. Date 7/17/2018

4. Date 7/17/2018

6. Date 7/17/2018

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

~~One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.~~

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

# APPENDIX A: AFFIDAVIT OF SERVICE AND ABUTTER NOTIFICATION

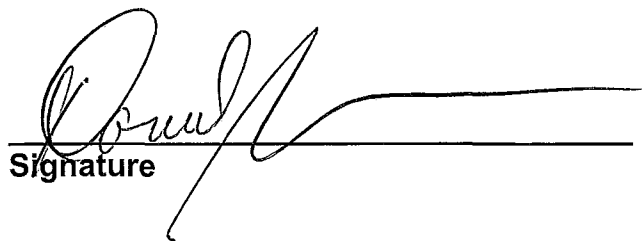
**AFFIDAVIT OF SERVICE**

**Under the Millis Wetland Protection Bylaw**

I, Daniel J. Merrikin, hereby certify under the Pains and Penalties of Perjury that on July 19, 2018 I gave notification to abutters in compliance with the Town of Millis Wetland Protection Bylaw, in connection with the following matter:

A Notice of Intent has been filed under the Millis Wetland Protection Bylaw by Acorn Millis Residential, LLC with the Millis Conservation Commission on or about July 19, 2018 regarding property located at assessors Map-Parcel 31-127, 31-128, 31-129, 34-10 and a portion of 34-126 on Acorn Street in Millis, MA.

The completed notification and a list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.

  
Signature

July 19, 2018

### Notification to Abutters Under the Millis Wetland Protection Bylaw

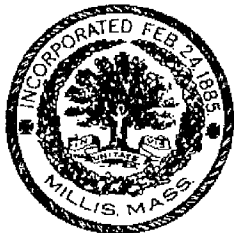
In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40 and the Millis Wetland Protection Bylaw (the Bylaw), you are hereby notified of the following:

- A. The name of the applicant is: Acorn Millis Residential, LLC
- B. The name of the owner is: Acorn of Millis, LLC and Brian Dmytryck
- C. The applicant has filed a Notice of Intent with the Millis Conservation Commission seeking permission to remove, fill, dredge or alter an Area Subject to Protection under the Millis Wetland Protection Bylaw.
- D. The address of the lot where the activity is proposed is: Acorn Street (Assessors Parcel ID 31-127, 31-128, 31-129, 34-10, and a portion of 34-126)
- E. Copies of the Notice of Intent may be examined at the Millis Conservation Commission, 900 Main Street, Town Offices, Millis, MA, during normal office hours or by appointment. For more information, call: (508) 376-8883. This is the applicant's representative, Merrikin Engineering, LLP.
- F. Copies of the Notice of Intent and information regarding the date, time and place of the public hearing may be obtained from the applicant's representative, Merrikin Engineering, LLP, by calling (508) 376-8883 between the hours of 8:00 am thru 12:00 pm and 1:00 pm thru 5:00 pm on the Monday thru Friday (excluding holidays). Pursuant to the DEP guide to abutter notification dated April 8, 1994, Merrikin Engineering, LLP may charge a reasonable fee for the copy of the Notice of Intent.

NOTE: The public hearing is scheduled for Monday August 6, 2018 at 8:25 p.m. in Room 104 of the Millis Town Hall.

NOTE: Notice of the meeting of the Conservation Commission, including its date, time and place will be posted in the Town Hall not less than forty-eight (48) hours in advance of the meeting.

NOTE: A copy of the application and plan is on the Conservation Commission's webpage at: [http://www.millis.net/Pages/MillisMA\\_BComm/Conservation/index](http://www.millis.net/Pages/MillisMA_BComm/Conservation/index)  
You also may contact your local Conservation Commission or the Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act at 508-792-7650.



# TOWN OF MILLIS

## OFFICE OF THE BOARD OF ASSESSORS

900 Main Street • Millis, MA 02054

Phone: 508-376-7049

Fax: 508-376-7055

Lawrence R. Bouret, *Chairman*  
Paul R. Keyes  
David M. O'Brien

Paula M. Dumont, M.A.A.  
Assistant Assessor  
[pdumont@millis.net](mailto:pdumont@millis.net)

Lesley Kennally  
Dept. Assistant II  
[lkennally@millis.net](mailto:lkennally@millis.net)

### REQUEST FOR A CERTIFIED ABUTTERS LIST

Date of Request: 7/11/2018

Requested by: Drew Haughton

Telephone number: 508-212-1869

Property Owner: Acorn Millis Residential, LLC, Brian Dmytryck

Property Location: Off Acorn Street

Map/Parcel Number: 31-126, 31-127, 31-128, 31-129, 34-10

All departments 300 feet – COST \$25.00

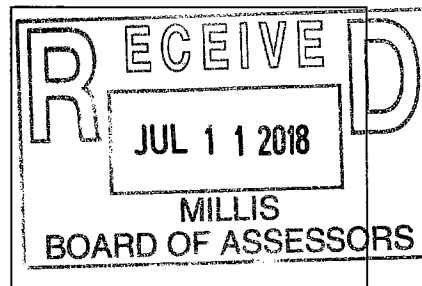
Department issued for Multiple Is this for a liquor license? Yes ☒ No

All certified Abutters List must be signed off by the Assessor's office.  
Please make your check payable to the Town of Millis and mail along with your application. The Assessor's office processes the requests as quickly as possible.

### ASSESSORS' OFFICE USE ONLY

Cash ☐ Check ☒

Completed on: 7-11-18 Run Ini  
Date



Received

*Disclaimer: This abutters list is done to the best of our knowledge*



# 300 foot Abutters List Report

Millis, MA  
July 11, 2018

CERTIFIED COPY by the TOWN OF MILLIS

Assessors Office Rm

## Subject Property:

Parcel Number: 0034-0010-0000  
CAMA Number: 0034-0010-0000  
Property Address: ACORN ST

Mailing Address: DMYTRYCK BRIAN S  
1275 MAIN ST  
MILLIS, MA 02054

## Abutters:

Parcel Number: 0031-0127-0000  
CAMA Number: 0031-0127-0000  
Property Address: 41 PEARL ST

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0031-0128-0000  
CAMA Number: 0031-0128-0000  
Property Address: 37 PEARL ST

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0031-0129-0000  
CAMA Number: 0031-0129-0000  
Property Address: 33 PEARL ST

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0031-0130-0000  
CAMA Number: 0031-0130-0000  
Property Address: 29 PEARL ST

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0031-0131-0000  
CAMA Number: 0031-0131-0000  
Property Address: 13 DEBRAH LN

Mailing Address: ALGER ALEXANDER & COLLEEN  
13 DEBRAH LN  
MILLIS, MA 02054

Parcel Number: 0031-0132-0000  
CAMA Number: 0031-0132-0000  
Property Address: 9 DEBRAH LN

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0031-0133-0000  
CAMA Number: 0031-0133-0000  
Property Address: 5 DEBRAH LN

Mailing Address: MILES MICHAEL D & JENNIFER C  
5 DEBRAH LN  
MILLIS, MA 02054

Parcel Number: 0031-0134-0000  
CAMA Number: 0031-0134-0000  
Property Address: 1 DEBRAH LN

Mailing Address: MASON KEVIN & SUSAN  
1 DEBRAH LN  
MILLIS, MA 02054

Parcel Number: 0032-0029-0000  
CAMA Number: 0032-0029-0000  
Property Address: 112 FARM ST

Mailing Address: HOLT MELISSA C  
112 FARM ST  
MILLIS, MA 02054

Parcel Number: 0032-0046-0000  
CAMA Number: 0032-0046-0000  
Property Address: FARM ST

Mailing Address: VERROCHI JR PAUL J & JULIE S  
130 FARM ST  
MILLIS, MA 02054



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7/11/2018

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# 300 foot Abutters List Report

Millis, MA  
July 11, 2018

CERTIFIED COPY by the TOWN OF MILLIS

Assessors Office *Pmp*

Parcel Number: 0033-0013-0000  
CAMA Number: 0033-0013-0000  
Property Address: OFF ACORN ST

Mailing Address: TOWN OF MILLIS  
900 MAIN ST  
MILLIS, MA 02054

Parcel Number: 0034-0001-0000  
CAMA Number: 0034-0001-0000  
Property Address: ACORN ST

Mailing Address: ROSS JR LESLIE R & DOROTHY ANN  
77 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0002-0000  
CAMA Number: 0034-0002-0000  
Property Address: 77 ACORN ST

Mailing Address: ROSS LESLIE R JR DOROTHY ANN &  
BETSY M  
77 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0006-0000  
CAMA Number: 0034-0006-0000  
Property Address: 78 ACORN ST

Mailing Address: BOOSE DAVID M & BOOSE JESSICA W  
78 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0007-0000  
CAMA Number: 0034-0007-0000  
Property Address: SPENCER ST

Mailing Address: PETTIS DONALD & JOANNA  
102 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0008-0000  
CAMA Number: 0034-0008-0000  
Property Address: 82 ACORN ST

Mailing Address: HUTCHINSON ROBERT S & CATHLEEN  
M  
82 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0009-0000  
CAMA Number: 0034-0009-0000  
Property Address: 80 ACORN ST

Mailing Address: OKEEFE ROBERT J & HUTTON JILL L  
80 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0011-0000  
CAMA Number: 0034-0011-0000  
Property Address: 99 ACORN ST

Mailing Address: HEBELER ROBERT J  
99 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0012-0000  
CAMA Number: 0034-0012-0000  
Property Address: 95 ACORN ST

Mailing Address: HEBELER JASON R  
95 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0013-0000  
CAMA Number: 0034-0013-0000  
Property Address: 100 ACORN ST

Mailing Address: ELBERY ROBERT T  
100 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0015-0000  
CAMA Number: 0034-0015-0000  
Property Address: 102 ACORN ST

Mailing Address: PETTIS DONALD H TR ACORN ST RLTY  
TR  
102 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0016-0000  
CAMA Number: 0034-0016-0000  
Property Address: 99 ACORN ST

Mailing Address: HEBELER ROBERT J  
99 ACORN ST  
MILLIS, MA 02054



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7/11/2018

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# 300 foot Abutters List Report

Millis, MA  
July 11, 2018

CERTIFIED COPY by the TOWN OF MILLIS.

Assessors Office JMD

Parcel Number: 0034-0017-0000  
CAMA Number: 0034-0017-0000  
Property Address: 103 ACORN ST

Mailing Address: HEBELER ROBERT J  
99 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0018-0000  
CAMA Number: 0034-0018-0000  
Property Address: 109 ACORN ST

Mailing Address: RIGGS JEAN A  
109 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0019-0000  
CAMA Number: 0034-0019-0000  
Property Address: 111 ACORN ST

Mailing Address: HARRINGTON SUSAN M & GRAY III  
ROLAND TTE SHARON NAUSS  
REVOCABLE TRUST  
111 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0020-0000  
CAMA Number: 0034-0020-0000  
Property Address: 115 ACORN ST

Mailing Address: O'CONNOR PAUL M & KRISTIE L  
115 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0071-0000  
CAMA Number: 0034-0071-0000  
Property Address: 84 ACORN ST

Mailing Address: SHLUZAS EDWARD A & SANDRA L  
TTEES SHLUZAS REVOCABLE TRUST  
84 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0081-0000  
CAMA Number: 0034-0081-0000  
Property Address: 93 ACORN ST

Mailing Address: WINE JONATHAN B WINE GILLIAN  
93 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0082-0000  
CAMA Number: 0034-0082-0000  
Property Address: 91 ACORN ST

Mailing Address: KENNIS MATTHEW T & LEANNE M  
91 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0083-0000  
CAMA Number: 0034-0083-0000  
Property Address: 89 ACORN ST

Mailing Address: LORIZIO VINCENT J LORIZIO FRANCES  
A  
89 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0084-0000  
CAMA Number: 0034-0084-0000  
Property Address: 87 ACORN ST

Mailing Address: YERED JR GEORGE J & JANET T TTEES  
YERED REALTY TRUST  
87 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0085-0000  
CAMA Number: 0034-0085-0000  
Property Address: 85 ACORN ST

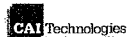
Mailing Address: TANGNEY TERRENCE J & DEBRA M  
85 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0086-0000  
CAMA Number: 0034-0086-0000  
Property Address: 83 ACORN ST

Mailing Address: KELLY ANNE  
83 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0089-0000  
CAMA Number: 0034-0089-0000  
Property Address: 76 ACORN ST

Mailing Address: SLAPAK CHRISTOPHER R & KEARNS  
SARAH A  
76 ACORN ST  
MILLIS, MA 02054



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# 300 foot Abutters List Report

Millis, MA  
July 11, 2018

CERTIFIED COPY by the TOWN OF MILLIS

Assessors Office Rme

Parcel Number: 0034-0090-0000  
CAMA Number: 0034-0090-0000  
Property Address: 94 ACORN ST

Mailing Address: OSBORNE ALLAN W OSBORNE  
DEBORAH  
94 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0091-0000  
CAMA Number: 0034-0091-0000  
Property Address: 96 ACORN ST

Mailing Address: MCVEY MATTHEW & MCVEY LUZ  
96 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0101-0000  
CAMA Number: 0034-0101-0000  
Property Address: ACORN ST

Mailing Address: PETTIS DONALD H TR ACORN ST RLTY  
TR  
102 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0120-0000  
CAMA Number: 0034-0120-0000  
Property Address: ACORN ST

Mailing Address: HEBELER ROBERT J  
99 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0034-0124-0000  
CAMA Number: 0034-0124-0000  
Property Address: 38 PEARL ST

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0034-0125-0000  
CAMA Number: 0034-0125-0000  
Property Address: 42 PEARL ST

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0034-0126-0000  
CAMA Number: 0034-0126-0000  
Property Address: PEARL ST

Mailing Address: ACORN OF MILLIS LLC  
275 TURNPIKE ST SUITE 300  
CANTON, MA 02021

Parcel Number: 0040-0001-0000  
CAMA Number: 0040-0001-0000  
Property Address: 119 ACORN ST

Mailing Address: PETTIS BRIAN  
119 ACORN ST  
MILLIS, MA 02054

Parcel Number: 0040-0002-0000  
CAMA Number: 0040-0002-0000  
Property Address: 123 ACORN ST

Mailing Address: PETTIS ROBERT A & ROLF AXEL  
PO BOX 116  
MILLIS, MA 02054

Parcel Number: 0041-0001-0000  
CAMA Number: 0041-0001-0000  
Property Address: OFF ACORN ST

Mailing Address: PETTIS ROBERT A  
123 ACORN ST  
MILLIS, MA 02054



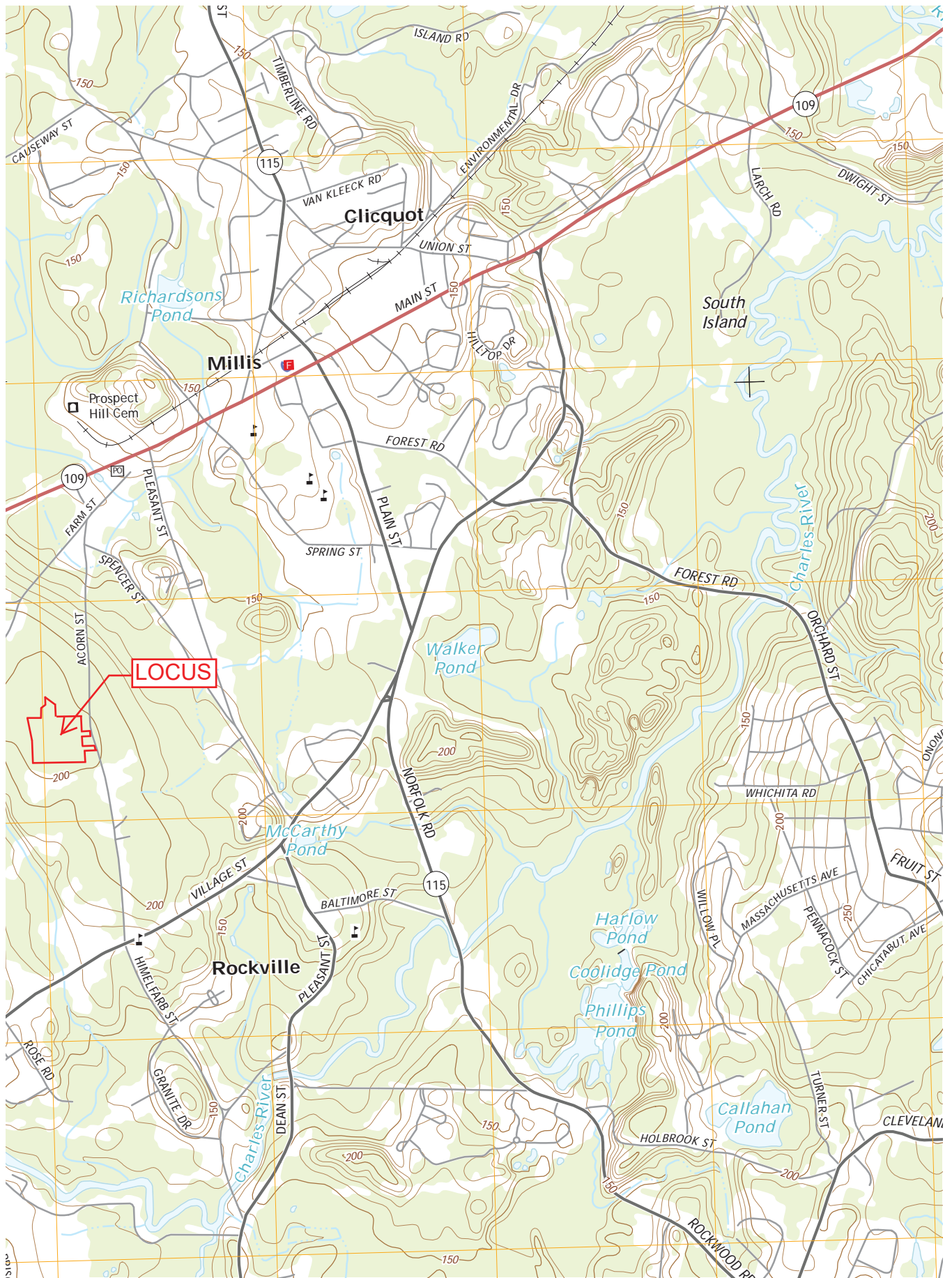
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## APPENDIX B: LOCUS MAPS





# National Flood Hazard Layer FIRMette



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

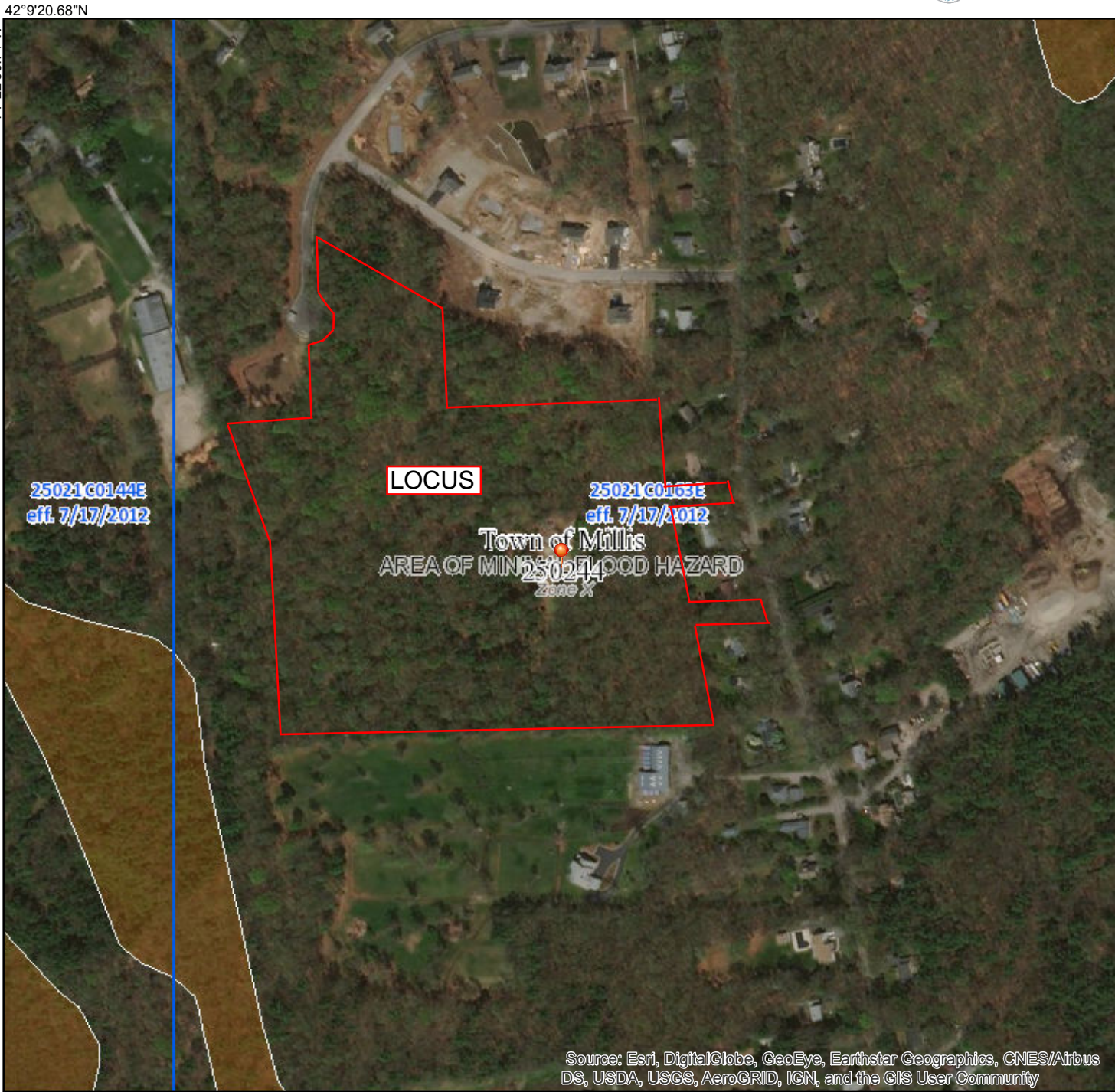
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth
		Regulatory Floodway Zone AE, AO, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The base map shown complies with FEMA's base map accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/28/2018 at 10:06:02 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

0 250 500 1,000 1,500 2,000 Feet 1:6,000

42°8'54.01"N

71°21'58.26"W

# APPENDIX C: NARRATIVE DESCRIPTION

# NARRATIVE DESCRIPTION

## Introduction

This Notice of Intent proposes the construction of a senior residential community development at Acorn Street.

## Existing Conditions

The existing 24.3 acre site is undeveloped forest west of Acorn Street. The central and western portions of the site contain isolated wetlands. The site is bordered by residential properties to the north, south, and east. To the west and southwest are farms.

## Resource Areas

The following Resource Areas listed below have been identified by a wetland scientist, whose report is included as Appendix G:

- Isolated Vegetated Wetlands (BVW): IVW have been flagged along and are shown on the site plan along with its associated Buffer Zone. No work is proposed within the IVW or the 50-foot wetland buffer, except for a single driveway crossing at the center of the site.

## Proposed Work

### Buffer Zone on Site

The proposed project consists of the construction of 48 new dwelling units, along with associated driveways, parking areas, landscaping and utilities. As shown on the plans, the proposed work includes activities in the buffer zone associated with landscaping and the construction of a small section of driveway. An undisturbed buffer of a least 50 feet is provided to the edge of wetland areas in all locations, except for a single driveway crossing at the center of the site.

## Project Schedule

The applicant intends to begin construction this Fall and expects to be completed by 2020.

APPENDIX D: “ACORN PLACE SITE  
PLAN OF LAND IN MILLIS, MA” DATED  
JULY 16, 2018, PREPARED BY  
MERRIKIN ENGINEERING, LLP  
(BOUND SEPARATELY)

APPENDIX E: “STORMWATER  
REPORT FOR ACORN PLACE MILLIS,  
MA” DATED JULY 16, 2018,  
PREPARED BY MERRIKIN  
ENGINEERING, LLP (BOUND  
SEPARATELY)



## APPENDIX F: BOTANIST REPORT

July 13, 2018

Merrikin Engineering  
730 Main Street  
Millis, MA 02054

Re: Acorn St, Millis, MA

Dear Mr. Merrikin:

On March 27, April 28, May 4, and June 16, 2018 wetland resources were inspected and delineated on a portion of land located at the above referenced site. The wetland border was flagged using the criteria in the most recent edition of MA Wetland Protection Act (WPA) and Regulations 310 CMR 10.00 et al and the Town of Millis Wetland Bylaw. Hydric soil indicators, vegetation changes, hydrological indicators, and topography were all considered for delineation purposes.

Four isolated wetlands were delineated on site and several wetlands were delineated off-site. The onsite wetlands were delineated with series B1-50 and A1-29 and G1-4 and J1-8. These wetlands are dominated by red maple, highbush blueberry, brier, wetland ferns and sphagnum moss. Department of Environmental Protection BVW field data forms were documented at wetland flag # A14, B15 and E14. (see attached forms).

The smallest onsite isolated wetland is flagged with series G1-4 this small depression is vegetated with sphagnum moss, highbush blueberry and red maple. The second small isolated wetland was delineated with series J1-8 along the back-property line. This wetland appears to flood; however, is too small to qualify as an Isolated Land Subject to Flooding resource area. It is vegetated with red maple, brier, highbush blueberry, and winterberry. The other onsite isolated wetlands are flagged with series A1-29 and B1-50. These wetlands are vegetated with red maple, spicebush, highbush blueberry and cinnamon ferns. Upland adjacent to these isolated wetlands consist of oaks, white pine, witch hazel and princess pine. These wetlands do not hold water and to a depth of 6 inches to qualify as the state resource area; Isolated land subject to flooding; however, are jurisdictional under the local bylaw.

The western off-site wetland was delineated with series E 1-26, H1-17 and C1-16. The southern wetland was delineated with F1-21; both for buffer zone purposes. These wetlands are dominated by red maple, sweet pepperbush, highbush blueberry, spicebush, arrowwood, buckthorn, and wetland ferns. The adjacent upland is dominant in oak, white pine, honeysuckle, witch hazel, rose and princess pine.

Off-site isolated wetland "D" is a small pocket wetland not able to hold ¼ acre foot of water to qualify as ILSF resource; however, would be jurisdictional under the local bylaw. These areas contain wetland vegetation of buckthorn, red maple, poison ivy and wetland ferns.

According to the Mass GIS data layers for NHESP, this site not is located within Estimated and/or Priority Habitat of Rare Wildlife and no a mapped potential or certified vernal pools are located on site. The site is not located in an ACEC and does not have a jurisdictional FEMA Flood Zone. A perennial river is mapped off-site. This resource was not flagged since the Bank/Mean Annual High Water of the river is further than 200-ft from the property boundary.

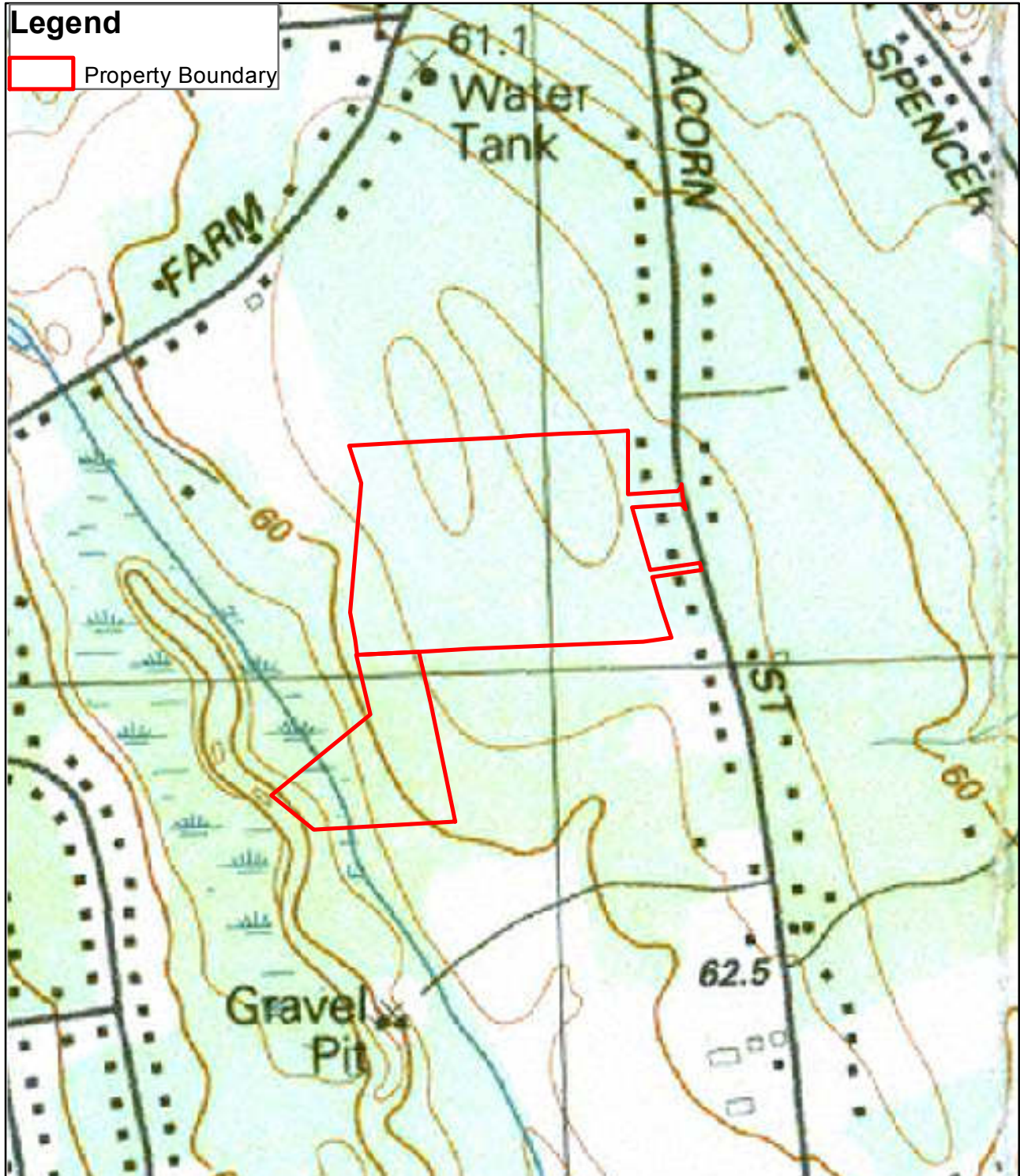
The MA Wetlands Protection Act and the local Bylaw takes jurisdiction over BVW. In addition, the BVW has a jurisdictional 100-foot Buffer Zone and the local bylaw takes jurisdiction over isolated wetlands.

Any work within the resource area and/or 100-foot buffer zone requires a Request for Determination (RDA) or Notice of Intent (NOI) be filed with the Conservation Commission. If you need further assistance with permitting, please call us we would be happy to assist.

Very truly yours,

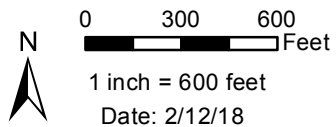
A handwritten signature in black ink, appearing to read "Scott Goddard", written in a cursive style.

Scott Goddard,  
Principal & PWS



## USGS Site Locus

Acorn Street, Millis MA





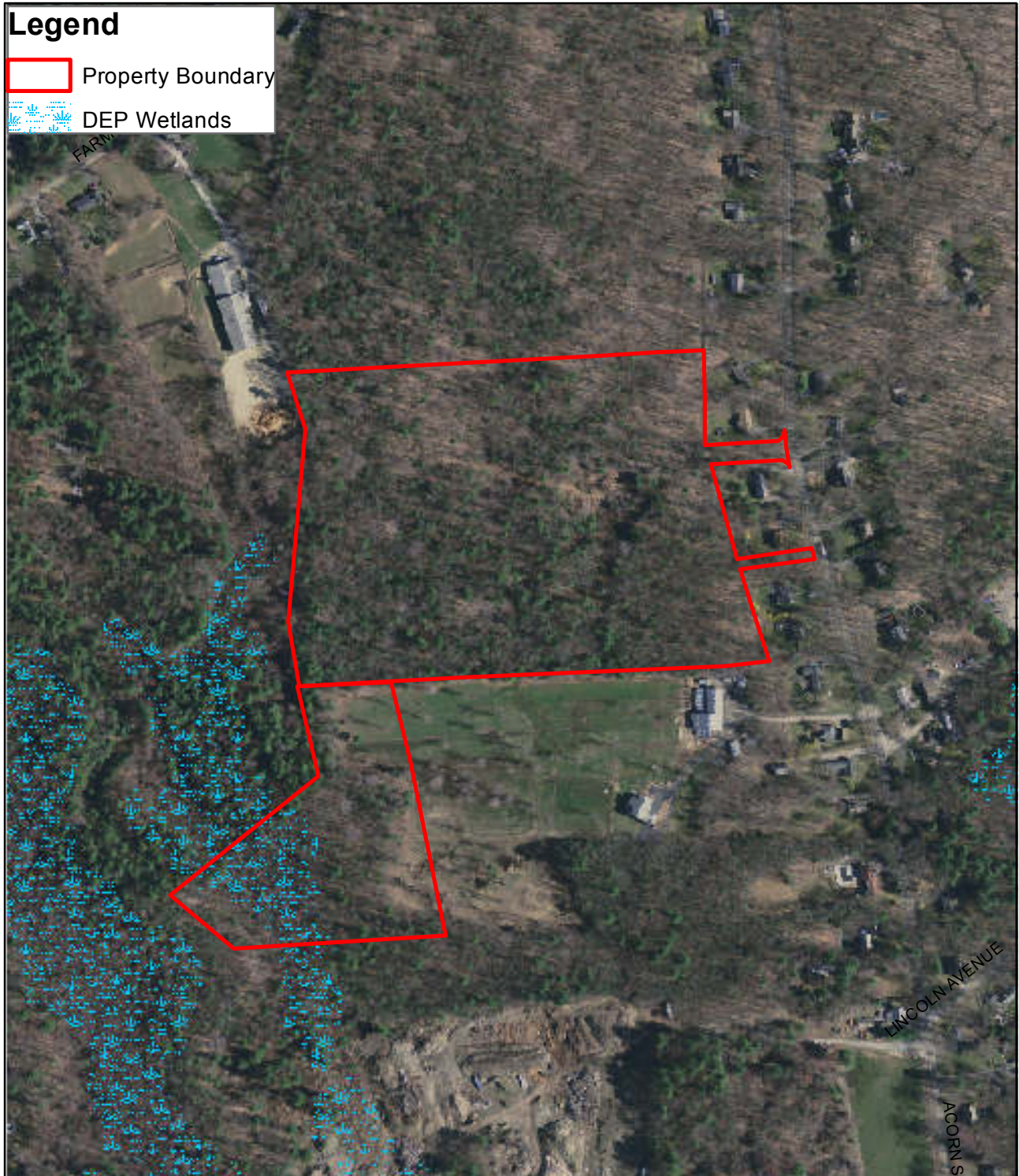
GIS Data Source: "Office of Geographic Information (MassGIS), Commonwealth of Massachusetts, MassIT"

GODDARD CONSULTING  
Strategic Wetland Permitting uc



## Legend

-  Property Boundary
-  DEP Wetlands



## Ortho View of Site

Acorn Street, Millis MA



0 200 400 Feet

1 inch = 400 feet  
Date: 2/12/18

GIS Data Source: "Office of Geographic Information (MassGIS), Commonwealth of Massachusetts, MassIT"

GODDARD CONSULTING  
Strategic Wetland Permitting INC

# DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: \_\_\_\_\_ Prepared by: Goddard Consulting LLC Project location: Acorn St, Millis DEP File #: \_\_\_\_\_

Check all that apply:

<input type="checkbox"/>	Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
<input checked="" type="checkbox"/>	Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
<input type="checkbox"/>	Method other than dominance test used (attach additional information)

Section I. Vegetation		Observation Plot Number: <b>A14</b>	Transect Number: <b>Upgradient</b>	Date of Delineation: <b>26-Mar-18</b>	
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*
<b><u>Tree Layer</u></b>					
Red Oak	<i>Quercus rubra</i>	20%	21.7%	Yes	FACU
White pine	<i>Pinus strobus</i>	36%	39.1%	Yes	FACU
Northern white oak	<i>Quercus alba</i>	36%	39.1%	Yes	FACU
<b><u>Sapling Layer</u></b>					
white Pine	<i>Pinus strobus</i>	20%	66.7%	Yes	FACU
American beech	<i>Fagus grandifolia</i>	10%	33.3%	Yes	FACU
<b><u>Shrub Layer</u></b>					
Steeplebush	<i>Spiraea tomentosa</i>	20%	50.0%	Yes	FACW*
White pine	<i>Pinus strobus</i>	20%	50.0%	Yes	FACU
<b><u>Climbing Woody Vine</u></b>					
<b><u>Ground Cover</u></b>					
<b>Remarks:</b> * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth					
<b>Morphological Adaptations:</b> 0		<b>Description:</b> _____			
* An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.					
<b>Vegetation conclusion:</b>					
<b>Number of dominant wetland indicator plants: 1</b>			<b>Number of dominant non-wetland indicator plants: 6</b>		
<b>Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? no</b>					

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? ☒ yes ☐ no  
title/date: Soil Survey of Bristol County, Northern Part - 1978  
map number: \_\_\_\_\_  
soil type mapped: Woodbridge fine sandy loam  
hydric soil inclusions: \_\_\_\_\_

Are field observations consistent with soil survey? ☒ yes ☐ no  
Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Soil Description

Horizon	Depth (inches)	Matrix Color	Mottles Color or Texture
A	1-8	10YR2/2	
B	8-20	10YR5/6	

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conclusion: Is soil hydric? ☐ yes ☒ no

Other Indicators of Hydrology: (check all that apply and describe)

☐ Site inundated: \_\_\_\_\_

☐ Depth to free water in observation hole: \_\_\_\_\_

☐ Depth to soil saturation in observation hole: \_\_\_\_\_

☐ Water marks: \_\_\_\_\_

☐ Drift Lines: \_\_\_\_\_

☐ Sediment deposits: \_\_\_\_\_

☐ Drainage patterns in BVW: \_\_\_\_\_

☐ Oxidized rhizospheres: \_\_\_\_\_

☐ Water-stained leaves: \_\_\_\_\_

☐ Recorded data (stream, lake, or tidal gauge; aerial photo; other):  
\_\_\_\_\_

☐ Other: \_\_\_\_\_

Vegetation and Hydrology Conclusion for Upgradient of A14		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants ≥ number of non-wetland plants		X
Wetland hydrology present:		
hydric soils present		X
other indicators of hydrology present		X
Sample location is in a BVW		X

Submit this form with the Request for Determination of Applicability or Notice of Intent

# DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: \_\_\_\_\_ Prepared by: Goddard Consulting LLC Project location: Acorn St, Millis DEP File #: \_\_\_\_\_

Check all that apply:

<input type="checkbox"/>	Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
<input checked="" type="checkbox"/>	Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
<input type="checkbox"/>	Method other than dominance test used (attach additional information)

Section I. Vegetation		Observation Plot Number: <b>A14</b>	Transect Number: <b>Downgradient</b>		Date of Delineation: <b>26-Mar-18</b>	
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*	
<b><u>Tree Layer</u></b>						
Red Maple	<i>Acer rubrum</i>	36%	64.3%	Yes	FAC*	
White Pine	<i>Pinus strobus</i>	20%	35.7%	Yes	FACU	
<b><u>Sapling Layer</u></b>						
Red maple	<i>Acer rubrum</i>	10%	100.0%	Yes	FAC*	
<b><u>Shrub Layer</u></b>						
Highbush blueberry	<i>Vaccinium corymbosum</i>	36%	100.0%	Yes	FACW*	
<b><u>Climbing Woody Vine</u></b>						
Eastern poison ivy	<i>Toxicodendron radicans</i>	10%	50.0%	Yes	FAC*	
Horse brier	<i>Smilax rotundifolia</i>	10%	50.0%	Yes	FAC*	
<b><u>Ground Cover</u></b>						
Sphagnum moss	<i>Sphagnum L.</i>	10%	50.0%	Yes	OBL*	
Eastern poison ivy	<i>Toxicodendron radicans</i>	10%	50.0%	Yes	FAC*	
<b>Remarks:</b> * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth						
<b>Morphological Adaptations:</b> 0		<b>Description:</b> _____				
* An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.						
<b>Vegetation conclusion:</b>						
<b>Number of dominant wetland indicator plants: 7</b>			<b>Number of dominant non-wetland indicator plants: 1</b>			
<b>Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? yes</b>						



Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? ☒ yes ☐ no  
title/date: Soil Survey of Bristol County, Northern Part - 1978  
map number: \_\_\_\_\_  
soil type mapped: Woodbridge fine sandy loam  
hydric soil inclusions: Ridgebury fine sandy loam

Are field observations consistent with soil survey? ☒ yes ☐ no  
Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Soil Description

Horizon	Depth (inches)	Matrix Color	Mottles Color or Texture
O	1-10	10YR2/1	
C	10-20	10YR6/1	

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conclusion: Is soil hydric? ☒ yes ☐ no

Other Indicators of Hydrology: (check all that apply and describe)

☐ Site inundated: \_\_\_\_\_  
  
☐ Depth to free water in observation hole: \_\_\_\_\_  
  
☐ Depth to soil saturation in observation hole: \_\_\_\_\_  
  
☐ Water marks: \_\_\_\_\_  
  
☐ Drift Lines: \_\_\_\_\_  
  
☐ Sediment deposits: \_\_\_\_\_  
  
☒ Drainage patterns in BVW: \_\_\_\_\_  
  
☒ Oxidized rhizospheres: \_\_\_\_\_  
  
☒ Water-stained leaves: \_\_\_\_\_  
  
☐ Recorded data (stream, lake, or tidal gauge; aerial photo; other): \_\_\_\_\_  
  
☐ Other: \_\_\_\_\_

Vegetation and Hydrology Conclusion for Downgradient of A14		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants ≥ number of non-wetland plants	X	
Wetland hydrology present:		
hydric soils present	X	
other indicators of hydrology present	X	
Sample location is in a BVW	X	

Submit this form with the Request for Determination of Applicability or Notice of Intent

# DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: \_\_\_\_\_

Prepared by: Goddard Consulting LLC

Project location: **Acorn St, Millis**

DEP File #: \_\_\_\_\_

Check all that apply:

☐ Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only

✓ Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II

Method other than dominance test used (attach additional information)
---

Section I. Vegetation		Observation Plot Number: B-15		Transect Number: Upgradient		Date of Delineation: 4-May-18	
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*		
<u><b>Tree Layer</b></u>							
Red Oak	<i>Quercus rubra</i>	20%	32.8%	Yes	FACU		
White pine	<i>Pinus strobus</i>	5%	8.2%	No	FACU		
Northern white oak	<i>Quercus alba</i>	36%	59.0%	Yes	FACU		
<u><b>Sapling Layer</b></u>							
<u><b>Shrub Layer</b></u>							
Witch hazel	<i>Hamamelis virginiana</i>	20%	50.0%	Yes	FACU		
White pine	<i>Pinus strobus</i>	20%	50.0%	Yes	FACU		
<u><b>Climbing Woody Vine</b></u>							
<u><b>Ground Cover</b></u>							
Princess-pine	<i>Dendrolycopodium obscurum</i>	10%	100.0%	Yes	FACU		
<b>Remarks:</b> * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth							
<b>Morphological Adaptations:</b> 0		<b>Description:</b>					
<small>* An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.</small>							
<b>Vegetation conclusion:</b>							
Number of dominant wetland indicator plants: 0			Number of dominant non-wetland indicator plants: 5				
Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? no							

*If vegetation alone is presumes adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.*

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? ☒ yes ☐ no  
title/date: Soil Survey of Bristol County, Northern Part - 1978  
map number: \_\_\_\_\_  
soil type mapped: Woodbridge fine sandy loam  
hydric soil inclusions: \_\_\_\_\_

Are field observations consistent with soil survey? ☒ yes ☐ no  
Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Soil Description

<u>Horizon</u>	<u>Depth (inches)</u>	<u>Matrix Color</u>	<u>Mottles Color or Texture</u>
A	1-8	10YR2/2	
B	8-20	10YR5/6	

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conclusion: Is soil hydric? ☐ yes ☒ no

Other Indicators of Hydrology: (check all that apply and describe)

☐ Site inundated: \_\_\_\_\_

☐ Depth to free water in observation hole: \_\_\_\_\_

☐ Depth to soil saturation in observation hole: \_\_\_\_\_

☐ Water marks: \_\_\_\_\_

☐ Drift Lines: \_\_\_\_\_

☐ Sediment deposits: \_\_\_\_\_

☐ Drainage patterns in BVW: \_\_\_\_\_

☐ Oxidized rhizospheres: \_\_\_\_\_

☐ Water-stained leaves: \_\_\_\_\_

☐ Recorded data (stream, lake, or tidal gauge; aerial photo; other):  
\_\_\_\_\_

☐ Other: \_\_\_\_\_

Vegetation and Hydrology Conclusion for Upgradient of B-15		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants ≥ number of non-wetland plants		X
Wetland hydrology present:		
hydric soils present		X
other indicators of hydrology present		X
Sample location is in a BVW		X

Submit this form with the Request for Determination of Applicability or Notice of Intent

# DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant:
Prepared by: Goddard Consulting LLC
Project location: Acorn St, Millis
DEP File #:

Check all that apply:

☐ Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only  
☒ Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II  
☐ Method other than dominance test used (attach additional information)

Section I. Vegetation		Observation Plot Number: <b>B-15</b>	Transect Number: <b>Downgradient</b>	Date of Delineation: <b>4-May-18</b>	
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*
<u>Tree Layer</u>					
Red Maple	<i>Acer rubrum</i>	36%	100.0%	Yes	FAC*
<u>Sapling Layer</u>					
Red maple	<i>Acer rubrum</i>	10%	100.0%	Yes	FAC*
<u>Shrub Layer</u>					
Highbush blueberry	<i>Vaccinium corymbosum</i>	36%	100.0%	Yes	FACW*
<u>Climbing Woody Vine</u>					
Horse brier	<i>Smilax rotundifolia</i>	20%	100.0%	Yes	FAC*
<u>Ground Cover</u>					
Eastern poison ivy	<i>Toxicodendron radicans</i>	10%	100.0%	Yes	FAC*
Remarks: * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth					
Morphological Adaptations: 0		Description:			
* An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.					
Vegetation conclusion:					
Number of dominant wetland indicator plants: 5			Number of dominant non-wetland indicator plants: 0		
Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? yes					

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? ☒ yes ☐ no  
title/date: Soil Survey of Bristol County, Northern Part - 1978  
map number: \_\_\_\_\_  
soil type mapped: Woodbridge fine sandy loam  
hydric soil inclusions: Ridgebury fine sandy loam

Are field observations consistent with soil survey? ☒ yes ☐ no  
Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Soil Description

Horizon	Depth (inches)	Matrix Color	Mottles Color or Texture
O	1-10	10YR2/1	
C	10-20	10YR6/1	

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conclusion: Is soil hydric? ☒ yes ☐ no

Other Indicators of Hydrology: (check all that apply and describe)

☐ Site inundated: \_\_\_\_\_

☐ Depth to free water in observation hole: \_\_\_\_\_

☐ Depth to soil saturation in observation hole: \_\_\_\_\_

☐ Water marks: \_\_\_\_\_

☐ Drift Lines: \_\_\_\_\_

☐ Sediment deposits: \_\_\_\_\_

☒ Drainage patterns in BVW: \_\_\_\_\_

☒ Oxidized rhizospheres: \_\_\_\_\_

☒ Water-stained leaves: \_\_\_\_\_

☐ Recorded data (stream, lake, or tidal gauge; aerial photo; other):  
\_\_\_\_\_

☐ Other: \_\_\_\_\_

Vegetation and Hydrology Conclusion for Downgradient of B-15		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants ≥ number of non-wetland plants	X	
Wetland hydrology present:		
hydric soils present	X	
other indicators of hydrology present	X	
Sample location is in a BVW	X	

Submit this form with the Request for Determination of Applicability or Notice of Intent

# DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: \_\_\_\_\_ Prepared by: Goddard Consulting LLC Project location: Acorn St, Millis DEP File #: \_\_\_\_\_

Check all that apply:

<input type="checkbox"/>	Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
<input checked="" type="checkbox"/>	Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
<input type="checkbox"/>	Method other than dominance test used (attach additional information)

Section I. Vegetation		Observation Plot Number: <b>E14</b>	Transect Number: <b>Upgradient</b>		Date of Delineation: <b>26-Mar-18</b>	
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*	
<b><u>Tree Layer</u></b>						
Red Oak	<i>Quercus rubra</i>	20%	26.3%	Yes	FACU	
White pine	<i>Pinus strobus</i>	20%	26.3%	Yes	FACU	
Northern white oak	<i>Quercus alba</i>	36%	47.4%	Yes	FACU	
<b><u>Sapling Layer</u></b>						
white Pine	<i>Pinus strobus</i>	20%	100.0%	Yes	FACU	
<b><u>Shrub Layer</u></b>						
Sweet pepperbush	<i>Clethra alnifolia</i>	20%	50.0%	Yes	FAC*	
White pine	<i>Pinus strobus</i>	20%	50.0%	Yes	FACU	
<b><u>Climbing Woody Vine</u></b>						
<b><u>Ground Cover</u></b>						
<b>Remarks:</b> * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth						
<b>Morphological Adaptations:</b> 0		<b>Description:</b> _____				
* An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.						
<b>Vegetation conclusion:</b>						
<b>Number of dominant wetland indicator plants: 1</b>			<b>Number of dominant non-wetland indicator plants: 5</b>			
<b>Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? no</b>						

Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? ☒ yes ☐ no  
title/date: Soil Survey of Bristol County, Northern Part - 1978  
map number: \_\_\_\_\_  
soil type mapped: Woodbridge fine sandy loam  
hydric soil inclusions: \_\_\_\_\_

Are field observations consistent with soil survey? ☒ yes ☐ no  
Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Soil Description

<u>Horizon</u>	<u>Depth (inches)</u>	<u>Matrix Color</u>	<u>Mottles Color or Texture</u>
A	1-8	10YR2/2	
B	8-20	10YR5/4	

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conclusion: Is soil hydric? ☐ yes ☒ no

Other Indicators of Hydrology: (check all that apply and describe)

☐ Site inundated: \_\_\_\_\_

☐ Depth to free water in observation hole: \_\_\_\_\_

☐ Depth to soil saturation in observation hole: \_\_\_\_\_

☐ Water marks: \_\_\_\_\_

☐ Drift Lines: \_\_\_\_\_

☐ Sediment deposits: \_\_\_\_\_

☐ Drainage patterns in BVW: \_\_\_\_\_

☐ Oxidized rhizospheres: \_\_\_\_\_

☐ Water-stained leaves: \_\_\_\_\_

☐ Recorded data (stream, lake, or tidal gauge; aerial photo; other):  
\_\_\_\_\_

☐ Other: \_\_\_\_\_

Vegetation and Hydrology Conclusion for Upgradient of E14		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants ≥ number of non-wetland plants		X
Wetland hydrology present:		
hydric soils present		X
other indicators of hydrology present		X
Sample location is in a BVW		X

Submit this form with the Request for Determination of Applicability or Notice of Intent

# DEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: \_\_\_\_\_ Prepared by: Goddard Consulting LLC Project location: Acorn St, Millis DEP File #: \_\_\_\_\_

Check all that apply: ☐ Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only  
☒ Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II  
☐ Method other than dominance test used (attach additional information)

Section I. Vegetation		Observation Plot Number: <b>E14</b>	Transect Number: <b>Downgradient</b>		Date of Delineation: <b>26-Mar-18</b>	
Sample Layer and Plant Species	Scientific name	% Cover	% Dominance	Dominant Plant (yes or no)	Wetland Indicator Category*	
<b><u>Tree Layer</u></b>						
Red Maple	<i>Acer rubrum</i>	36%	78.3%	Yes	FAC*	
Red Oak	<i>Quercus rubra</i>	10%	21.7%	Yes	FACU	
<b><u>Sapling Layer</u></b>						
Red maple	<i>Acer rubrum</i>	10%	50.0%	Yes	FAC*	
White pine	<i>Pinus strobus</i>	10%	50.0%	Yes	FACU	
<b><u>Shrub Layer</u></b>						
Sweet pepperbush	<i>Clethra alnifolia</i>	20%	50.0%	Yes	FAC*	
Highbush blueberry	<i>Vaccinium corymbosum</i>	10%	25.0%	Yes	FACW*	
Steeplebush	<i>Spiraea tomentosa</i>	10%	25.0%	Yes	FACW*	
<b><u>Climbing Woody Vine</u></b>						
Eastern poison ivy	<i>Toxicodendron radicans</i>	10%	100.0%	Yes	FAC*	
<b><u>Ground Cover</u></b>						
Sphagnum moss	<i>Sphagnum L.</i>	10%	50.0%	Yes	OBL*	
Eastern poison ivy	<i>Toxicodendron radicans</i>	10%	50.0%	Yes	FAC*	
<b>Remarks:</b> * An asterisk after common plant name indicates stunted growth; ** indicates extremely stunted growth <b>Morphological Adaptations:</b> 0 <b>Description:</b> _____ * An asterisk after indicator status denotes wetlands plants: plants listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; or plants listed as FAC, FACW, or OBL.						
<b>Vegetation conclusion:</b>						
Number of dominant wetland indicator plants: <b>8</b>			Number of dominant non-wetland indicator plants: <b>2</b>			
Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants? <b>yes</b>						

If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the Request for Determination of Applicability or Notice of Intent.



Section II. Indicators of Hydrology

Hydric Soil Interpretation

1. Soil Survey

Is there a published soil survey for this site? ☒ yes ☐ no  
title/date: Soil Survey of Bristol County, Northern Part - 1978  
map number: \_\_\_\_\_  
soil type mapped: Scarboro and birdsal soils  
hydric soil inclusions: \_\_\_\_\_

Are field observations consistent with soil survey? ☒ yes ☐ no  
Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Soil Description

<u>Horizon</u>	<u>Depth (inches)</u>	<u>Matrix Color</u>	<u>Mottles Color or Texture</u>
O	1-10	10YR2/1	
C	10-20	10YR6/1	

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Conclusion: Is soil hydric? ☒ yes ☐ no

Other Indicators of Hydrology: (check all that apply and describe)

☐ Site inundated: \_\_\_\_\_

☐ Depth to free water in observation hole: \_\_\_\_\_

☐ Depth to soil saturation in observation hole: \_\_\_\_\_

☐ Water marks: \_\_\_\_\_

☐ Drift Lines: \_\_\_\_\_

☐ Sediment deposits: \_\_\_\_\_

☒ Drainage patterns in BVW: \_\_\_\_\_

☒ Oxidized rhizospheres: \_\_\_\_\_

☒ Water-stained leaves: \_\_\_\_\_

☐ Recorded data (stream, lake, or tidal gauge; aerial photo; other):  
\_\_\_\_\_

☐ Other: \_\_\_\_\_

Vegetation and Hydrology Conclusion for Downgradient of E14		
	<u>yes</u>	<u>no</u>
Number of wetland indicator plants ≥ number of non-wetland plants	X	
Wetland hydrology present:		
hydric soils present	X	
other indicators of hydrology present	X	
Sample location is in a BVW	X	

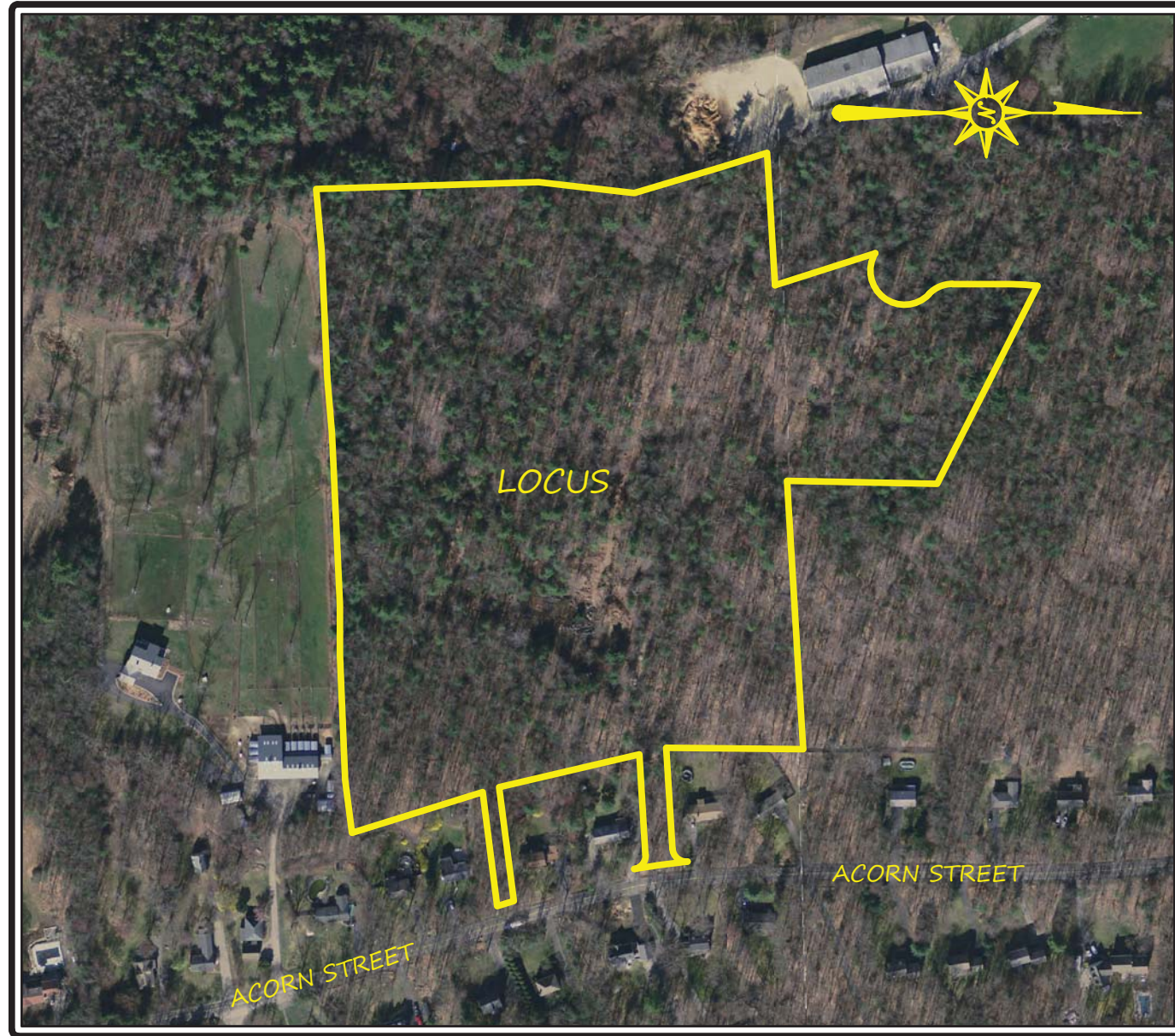
Submit this form with the Request for Determination of Applicability or Notice of Intent



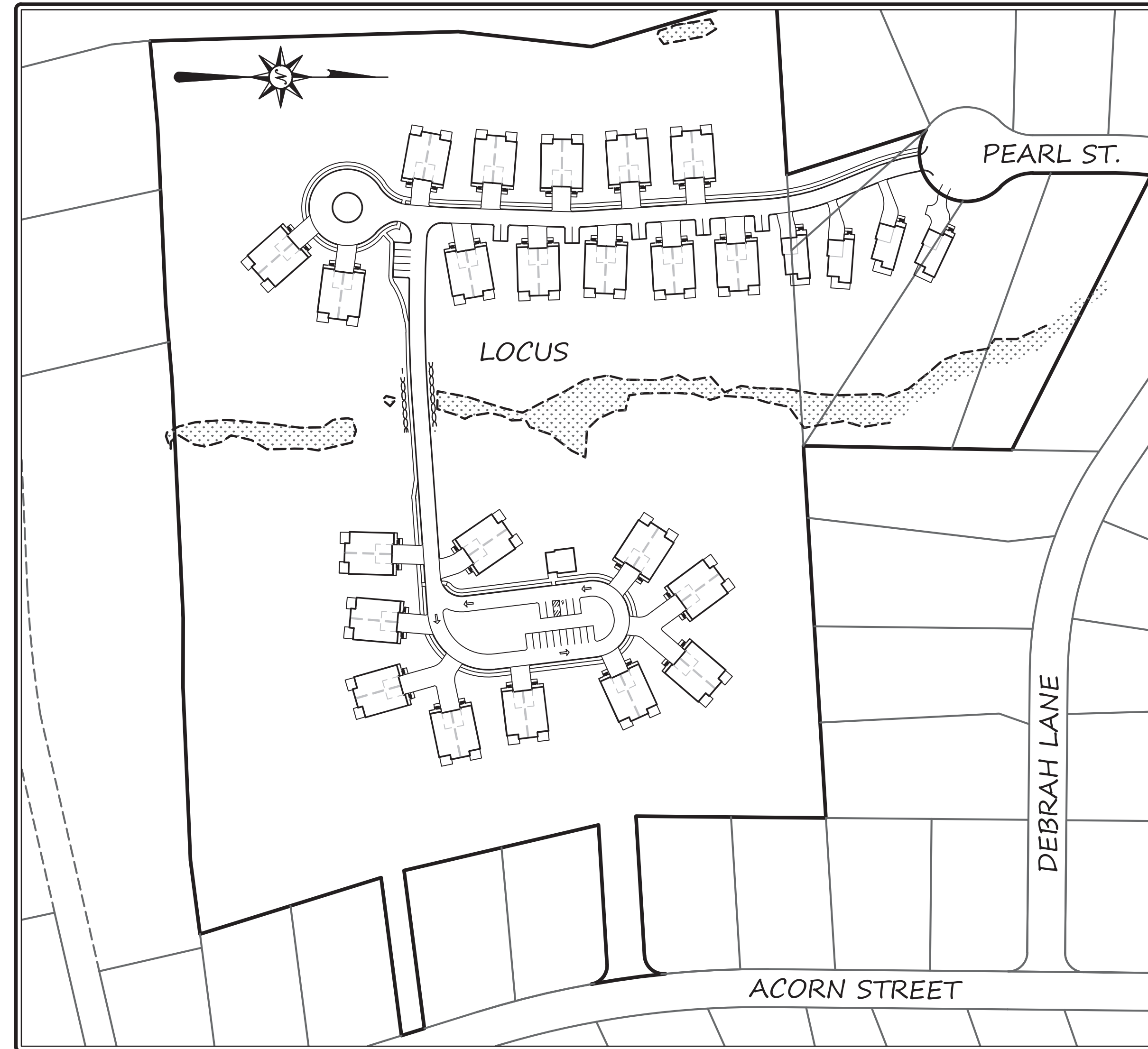
# ACORN PLACE

SITE PLAN OF LAND  
IN MILLIS, MASSACHUSETTS  
JULY 12, 2018

PREPARED BY:  
MERRIKIN ENGINEERING, LLP  
730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054

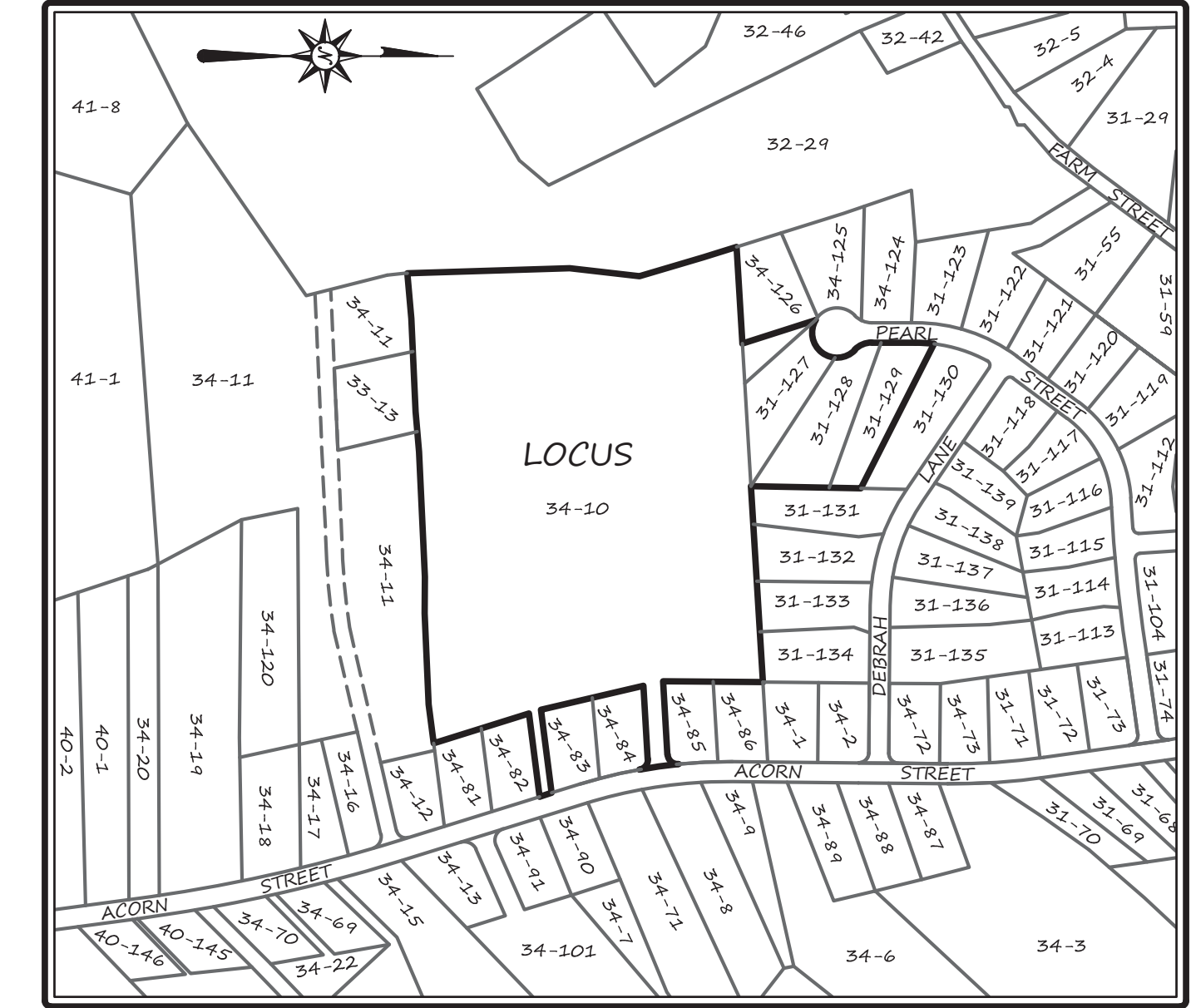


2013 MASSGIS AERIAL LOCUS  
SCALE: 1" = 300'



LOCUS  
SCALE: 1" = 120'

PREPARED FOR:  
ACORN MILLIS RESIDENTIAL, LLC  
38 BENJAMINS GATE  
PLYMOUTH, MA 02360



ASSESSORS LOCUS  
SCALE: 1" = 400'

OWNER:  
BRIAN DMYTRYCK  
1275 MAIN STREET  
MILLIS, MA 02054

ACORN OF MILLIS, LLC  
275 TURNPIKE STREET SUITE 300  
CANTON MA, 02021

APPLICANT:  
ACORN MILLIS RESIDENTIAL, LLC  
38 BENJAMINS GATE  
PLYMOUTH, MA 02360

ASSESSORS INFORMATION:  
31-127, 31-128, 31-129, 34-10,  
PORTION OF 34-126

ZONING CLASSIFICATION:  
RESIDENTIAL-SUBURBAN (R-S)

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

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MILES PLANNING BOARD

Page 10 of 10

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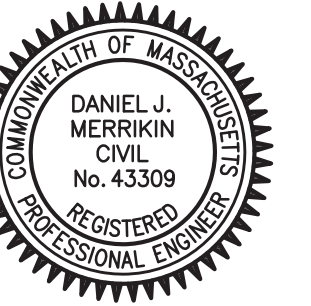
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Digitally signed by Daniel J.  
Terrikin, P.E.  
Date: 2018.07.17 13:55:37  
-04'00'

PLAIN POLE; AS NOTED

REVISION	D
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ACCOUNT PLACE  
COVER SHEET  
PLAN OF LAND  
IN  
MILLIS, MA



730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
ph. 508-376-8883 fax 508-376-8823

D69-02

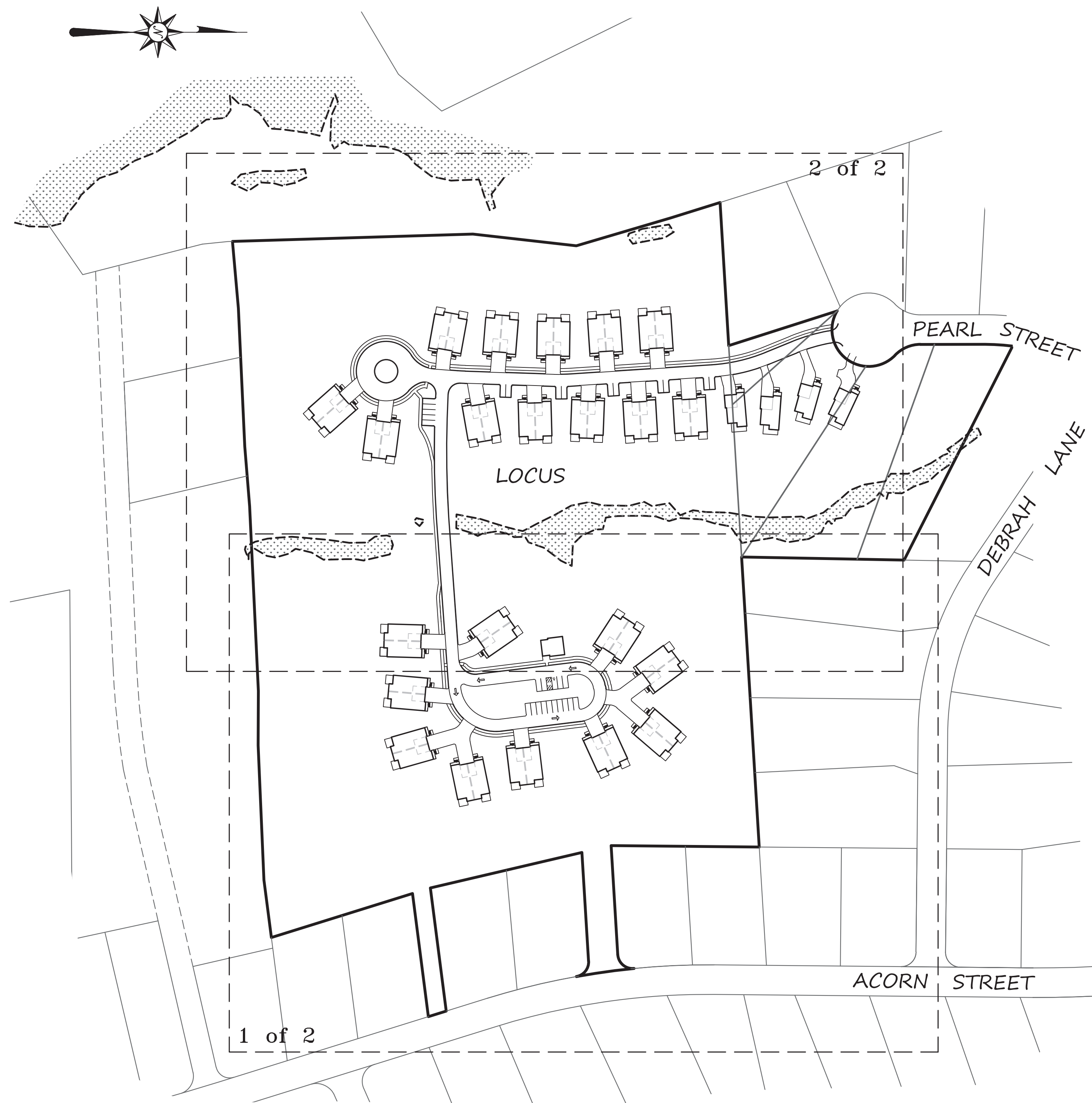
SHEET 1 OF 16



1. SURVEY & PLAN REFERENCES:
  - A. PROPERTY LINE AND TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING AND ARE THE RESULT OF AN ON-THE-GROUND SURVEY.
  - B. PLAN REFERENCES AS FOLLOWS:
    - PLAN BOOK NO. 207, NO. 1117 OF 1955
    - PLAN BOOK NO. 273, NO. 117 OF 1975
    - PLAN BOOK NO. 299, NO. 768 OF 1982
    - PLAN BOOK NO. 633, NO. 75 OF 2014
    - PLAN NO. 332(1-7) OF 1944 - ACORN STREET COUNTRY LAYOUT
  - C. DEED REFERENCES:
    - BOOK 34644, PAGE 367
    - BOOK 32543, PAGE 200
2. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS FROM THE TOWN OF MILLIS AND OTHER SOURCES AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
3. THE DEVELOPER SHALL RETAIN FEE INTEREST IN THE ROADWAY RIGHT-OF-WAY.
4. DATUM: NAVD88

1. WETLANDS BOUNDARIES WERE DELINEATED BY GODDARD CONSULTING IN 2018.
2. PURSUANT TO THE TOWN OF MILLIS WETLAND PROTECTION BY-LAW (ARTICLE XIX), THE 100' WETLAND BUFFER ZONE SHOWN ON THIS PLAN IS DEFINED AS A "RESOURCE AREA".

1. THE CONTRACTOR SHALL CONTACT DISAGE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. PATIOS BEHIND EACH UNIT ARE CONSIDERED IMPERVIOUS EXCEPT WHERE PERVIOUS PAVERS ARE REQUIRED.
3. HOURS OF OPERATION FOR SITEWORK, CONSTRUCTION OUTSIDE OF BUILDINGS, AND DELIVERY OR PICKUP OF HEAVY CONSTRUCTION EQUIPMENT SHALL BE MONDAY THROUGH FRIDAY, 7:00 AM - 7:00 PM AND SATURDAYS, 7:00 AM - 6:00 PM. SHOULD THE CONTRACTOR DESIRE TO WORK ON ANY NORFOLK COUNTY STATE-RECOGNIZED HOLIDAY, IT SHALL SUBMIT A REQUEST IN WRITING TO THE BUILDING INSPECTOR AT LEAST FIVE BUSINESS DAYS PRIOR TO THE HOLIDAY IN QUESTION. THE BUILDING INSPECTOR HAS THE DISCRETION TO ALLOW OR DENY THE REQUEST.



KEY PLAN  
SCALE: 1" = 120'

APPLICANT:  
ACORN MILLIS RESIDENTIAL, LLC  
38 BENJAMINS GATE  
PLYMOUTH, MA 02360

ZONING CLASSIFICATION:  
RESIDENTIAL-SUBURBAN (R-S)

PLAN ENDORSEMENT DATE:

MILLIS PLANNING BOARD

- ◻ CB: EXISTING CATCH BASIN
- ◻ CB: PROP. SINGLE-GRATE CATCH BASIN
- ◻ CB: PROP. DOUBLE-GRATE CATCH BASIN
- ◻ V: VENTILATOR TREATMENT UNIT
- ◻ DMH: DRAIN MANHOLE
- TR. DR.: TRENCH DRAIN
- INFIL. TR.: INFILTRATION TRENCH
- ◻ P: DRAIN PIPE
- RCP: REINFORCED CONCRETE PIPE
- P.V.: POLYVINYL CHLORIDE PIPE
- ◻ SMH: SEWER MANHOLE
- ◻ S: SEWER PIPELINE
- ◻ CO: SEWER SERVICE CLEANOUT
- ◻ W: WATER MAIN
- ◻ HYD: HYDRANT
- M.G.V.: WATER GATE VALVE
- ◻ S: WATER SERVICE CURB STOP
- ◻ M.B.: WATER SERVICE METER BOX
- ◻ G: GAS PIPELINE
- ◻ L.P.: LIGHT POLE
- ◻ U.P.: UTILITY POLE
- ◻ G.Y.: GUY WIRE
- ◻ S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.D.P. EDGE OF PAVEMENT
- C.B. CAPE COD BITUMINOUS BERM
- V.B.B. VERTICAL BITUMINOUS BERM
- S.G. SLOPED GRANITE CURB
- V.G.C. VERTICAL GRANITE CURB
- V.C.C. VERTICAL CONCRETE CURB
- E.C.S. EDGE CONCRETE SLAB
- C.V. CURE VALVE
- C.F. CHAIN LINK FENCE
- W.S.F. WOOD STOCKADE FENCE
- P.P.F. PICKET FENCE
- G.R. GUARD RAIL
- C.H. HANDICAP CURB CUT



Digitally signed by Daniel J.  
Merrikin, P.E.  
Date: 2018.07.17 13:56:35  
04'00'



FLAN SCALE: 1 = 120

[illegible]

ACORN PLACE  
KEY, LEGEND & NOTES  
PLAN OF LAND  
IN  
MILLIS, MA



730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
ph. 508-376-8883 fax 508-376-8823





PLAN ENDORSEMENT DATE:

MILLIS PLANNING BOARD



Digitally signed by Daniel  
J. Merrikin, P.E.  
Date: 2018.07.17 13:57:29  
-04'00'

[illegible]

ACORN PLACE  
EXISTING CONDITIONS  
PLAN OF LAND  
IN  
MILLIS, MA



730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
ph. 508-376-8883 fax 508-376-8823













MILLIS PLANNING BOARD







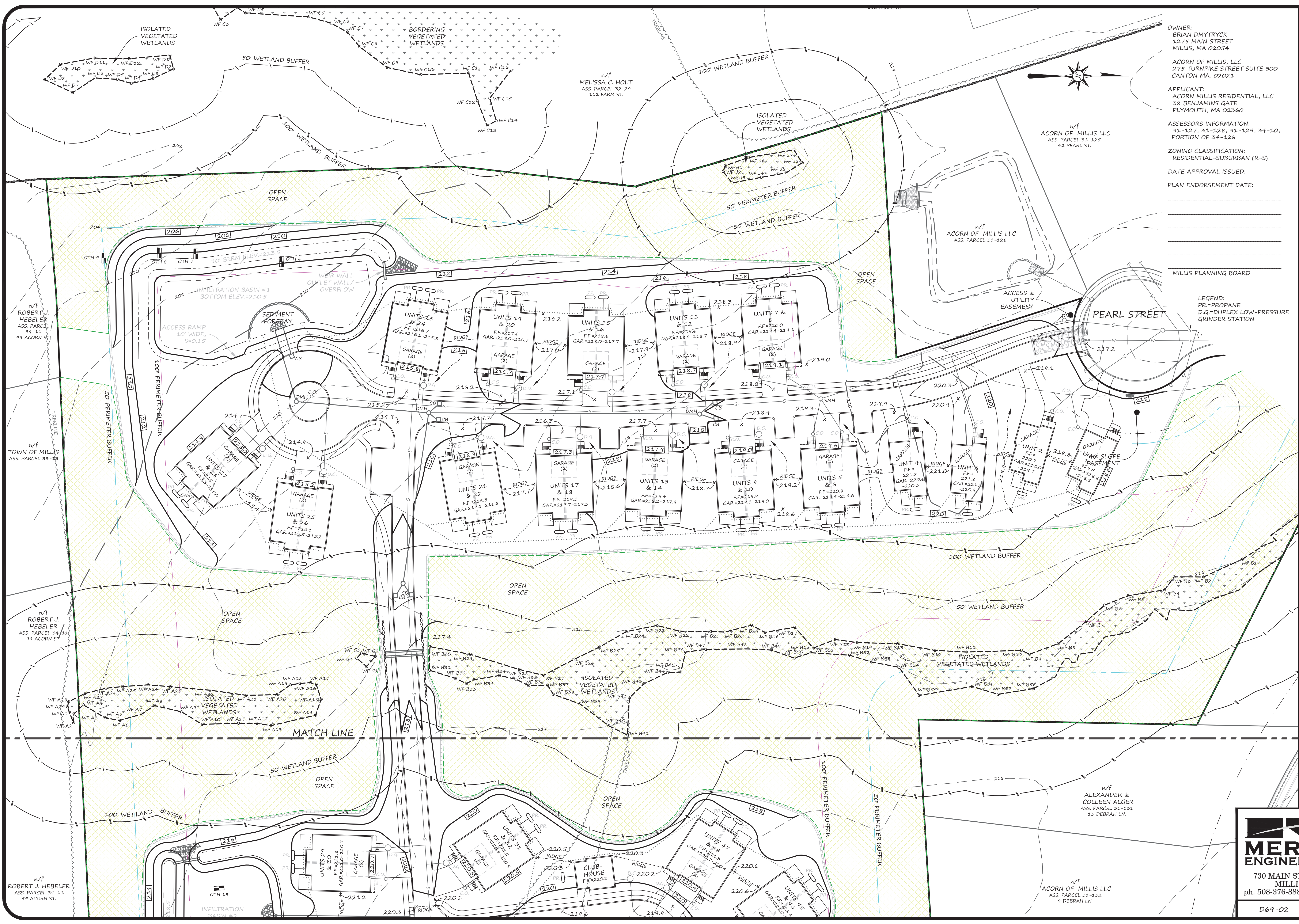












OWNER:  
BRIAN DMYTRYCK  
1275 MAIN STREET  
MILLIS, MA 02054

ACORN OF MILLIS, LLC  
275 TURNPIKE STREET SUITE 300  
CANTON MA, 02021

APPLICANT:  
ACORN MILLIS RESIDENTIAL, LLC  
38 BENJAMINS GATE  
PLYMOUTH, MA 02360

ASSESSORS INFORMATION:  
31-127, 31-128, 31-129, 34-10,  
PORTION OF 34-126

ZONING CLASSIFICATION:  
RESIDENTIAL-SUBURBAN (R-S)

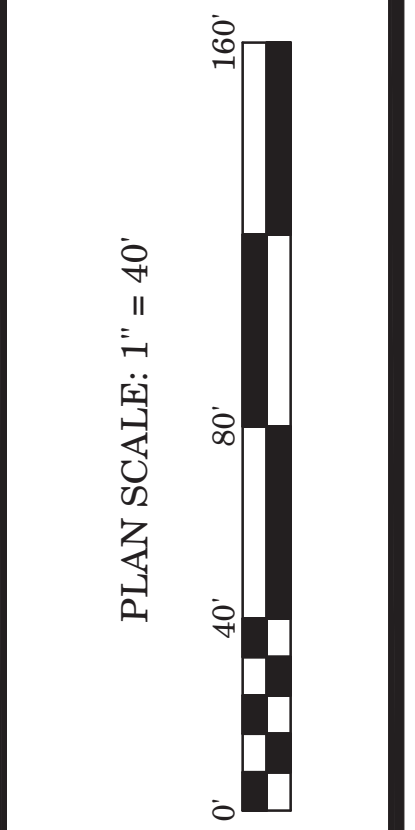
DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MILLIS PLANNING BOARD

LEGEND:  
PR=PROPRANE  
D.G.=DUPLEX LOW-PRESSURE  
GRINDER STATION

Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2018.07.17 14:28:39 -04'00'



REVISION	DATE	BY

PLAN DATE: JULY 12, 2018

ACORN PLACE  
GRADING  
PLAN OF LAND  
IN  
MILLIS, MA



730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
ph. 508-376-8883 fax 508-376-8823

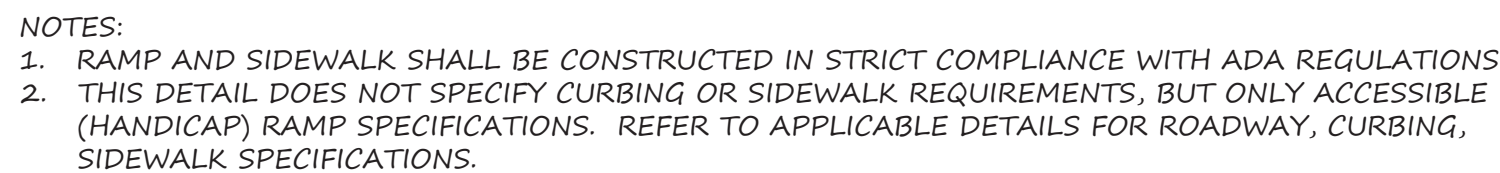
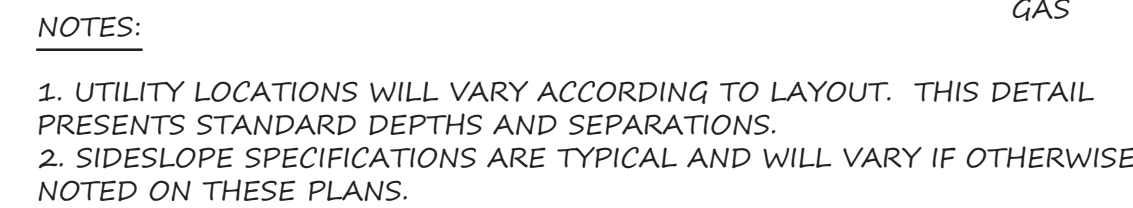




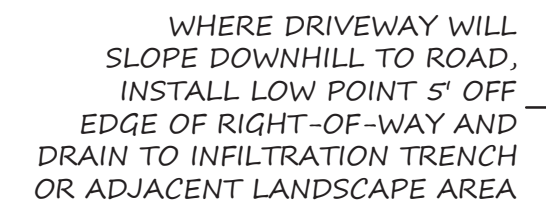








NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOTES:

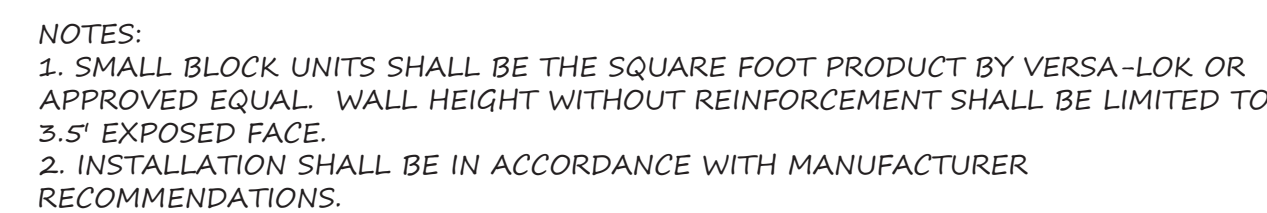
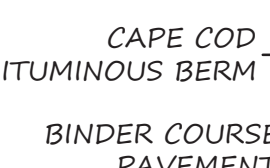
1. GRASSPAVE2 BY INVISIBLE STRUCTURES, INC., 1600 JACKSON STREET, STE. 310, GOLDEN, COLORADO, OR EQUAL.
2. UNIT SIZE: 50 CM x 50 CM x 2.5 CM (20" x 20" x 1")



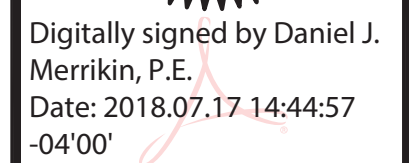
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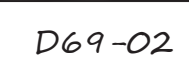


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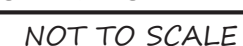
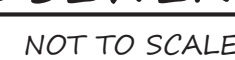


PLAN SCALE: NOT TO SCALE

ACORN PLACE  
DETAIL  
PLAN OF LAND  
IN  
MILLIS, MA



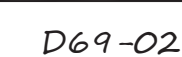




MILLIS PLANNING BOARD

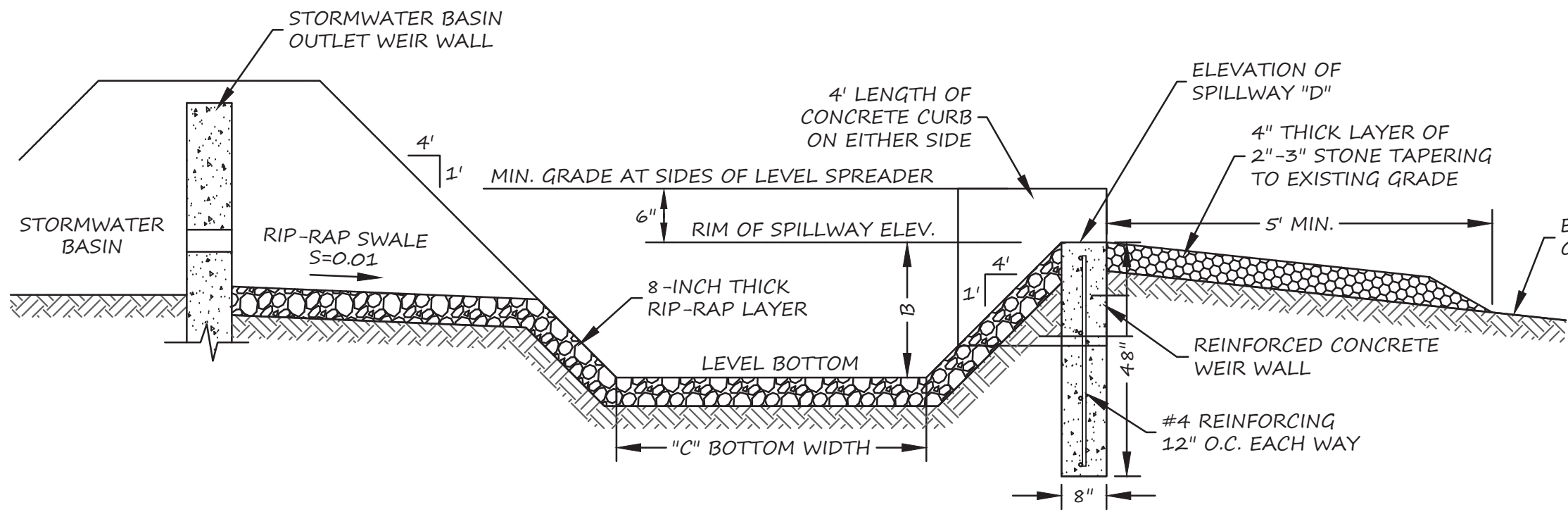


ACORN PLACE  
DETAIL  
PLAN OF LAND  
IN  
MILLIS, MA





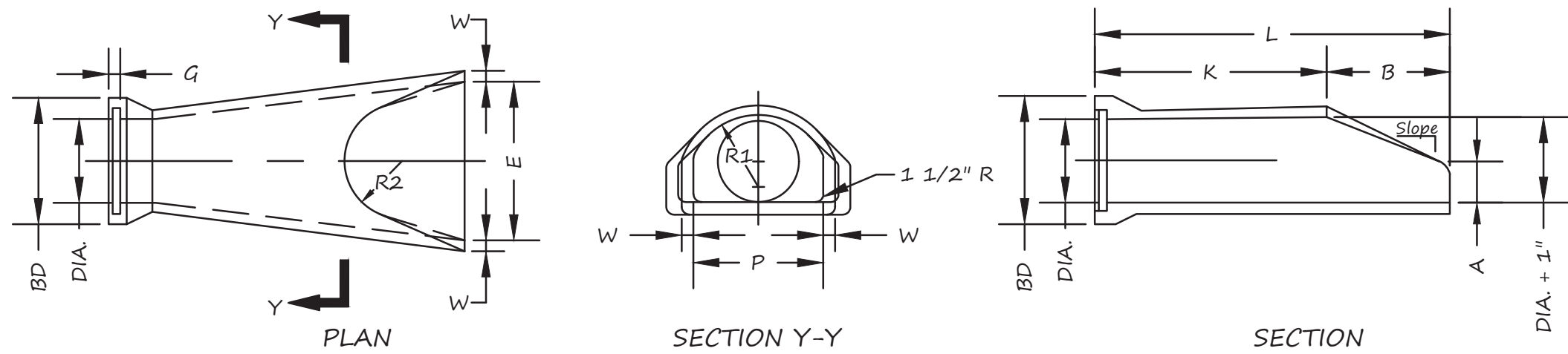
- NOTES:
1. WEIR LENGTH (A), DEPTH (B), & BOTTOM WIDTH (C) OF SPILLWAY AND ELEVATION OF THE SPILLWAY LIP SHALL BE AS SPECIFIED ON THE GRADING AND PROFILE SHEETS.
  2. WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.



TYPICAL CROSS-SECTION

LEVEL SPREADER DETAIL

NOT TO SCALE



PRECAST CONCRETE CATCH BASIN

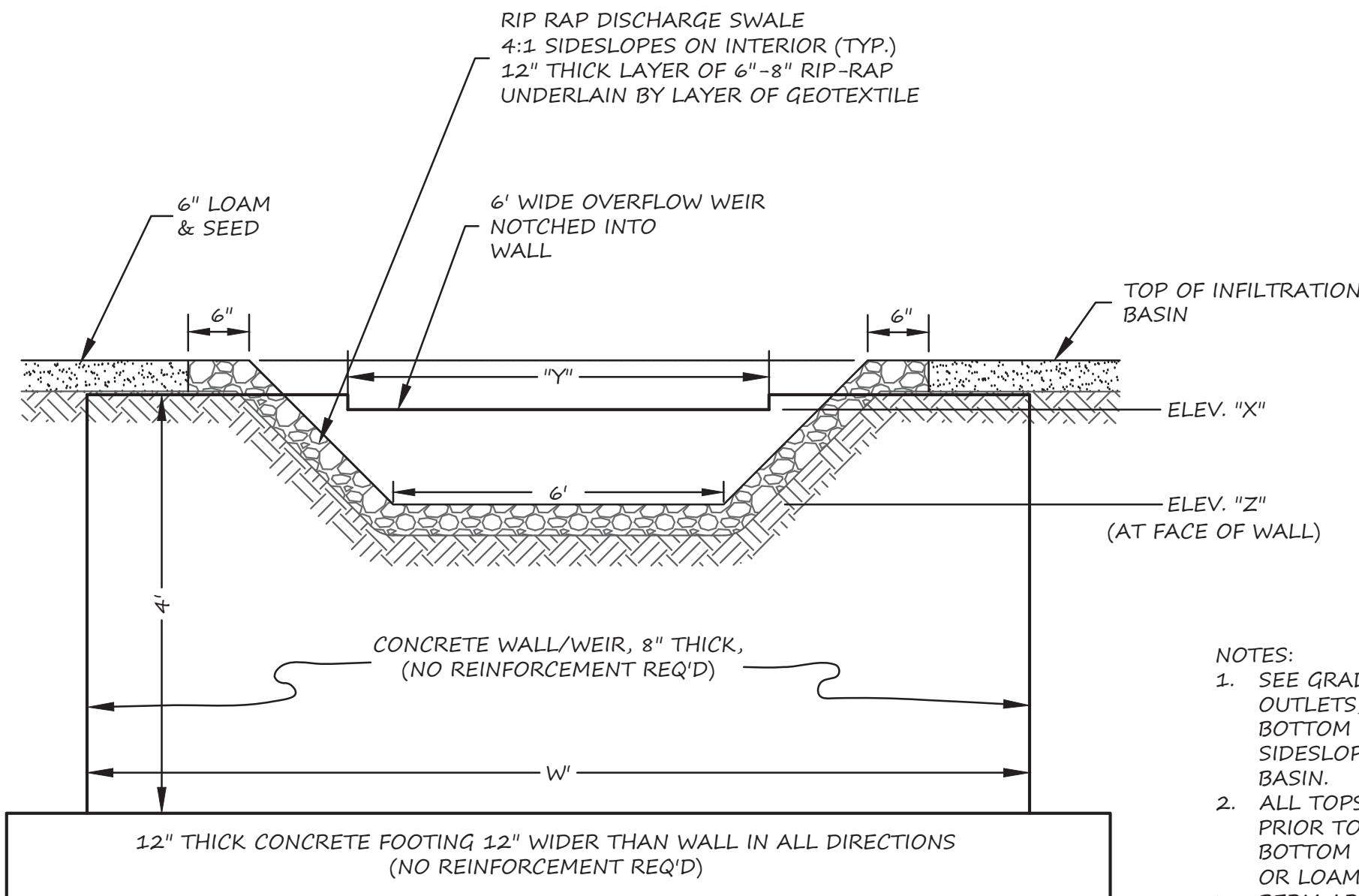
NOT TO SCALE

- NOTES:
1. NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
  2. SUBSTITUTE FRAME AND GRATE SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.
  3. PROVIDE 5" DIAMETER STRUCTURE WITH FLAT TOP WITH RECTANGULAR OPENING FOR DOUBLE GRATES, WHICH SHALL BE EAST JORDAN IRON WORKS NO. OMA544000002 WITH GRATES EQUAL TO ABOVE-SPECIFICATION.

DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. 1/2"	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0 7/8"	6'-3 3/8"	2'-0"	20"	6'-3 1/8"	6'-4 1/8"	18 5/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	5'-1 1/2"	6'-1 1/2"	2'-6"	24"	6'-3 1/2"	6'-4 1/2"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	5'-1 1/2"	6'-1 1/2"	3'-0"	28"	6'-3 7/8"	6'-4 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-1 1/2"	3'-2"	6'-1 1/2"	3'-6"	32"	6'-3 5/8"	6'-7 5/8"	35 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	36"	6'-3 1/2"	6'-8"	39 3/16"	25"	16 1/2"	14"	4"	3"	3:1

R.C.P. FLARED END SECTION DETAILS

NOT TO SCALE



- NOTES:
1. SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
  2. ALL TOPSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN GRAVEL. FILL FOR BERMS MAY BE SAND, OR LOAMY SAND. (TITLE V CLASSIFICATIONS).
  3. BERM AREAS SHALL BE REMOVED OF ALL TOP AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.

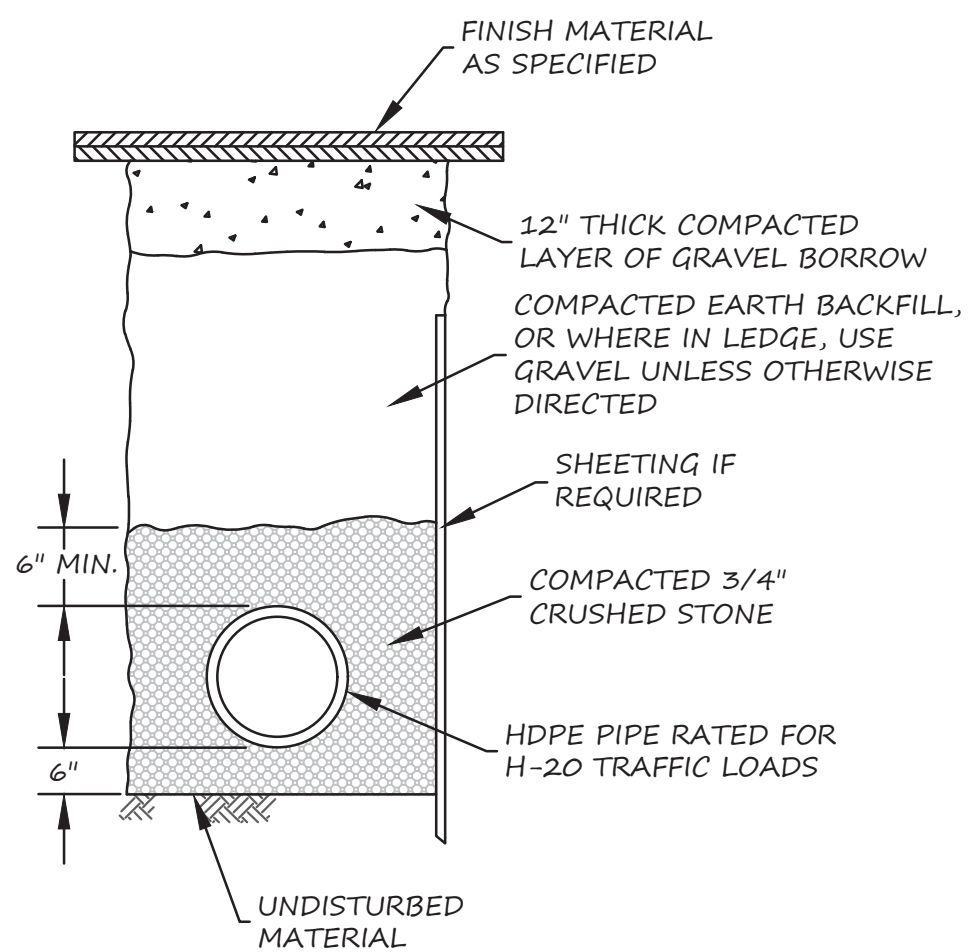
TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE

TYPICAL BASIN CROSS-SECTION

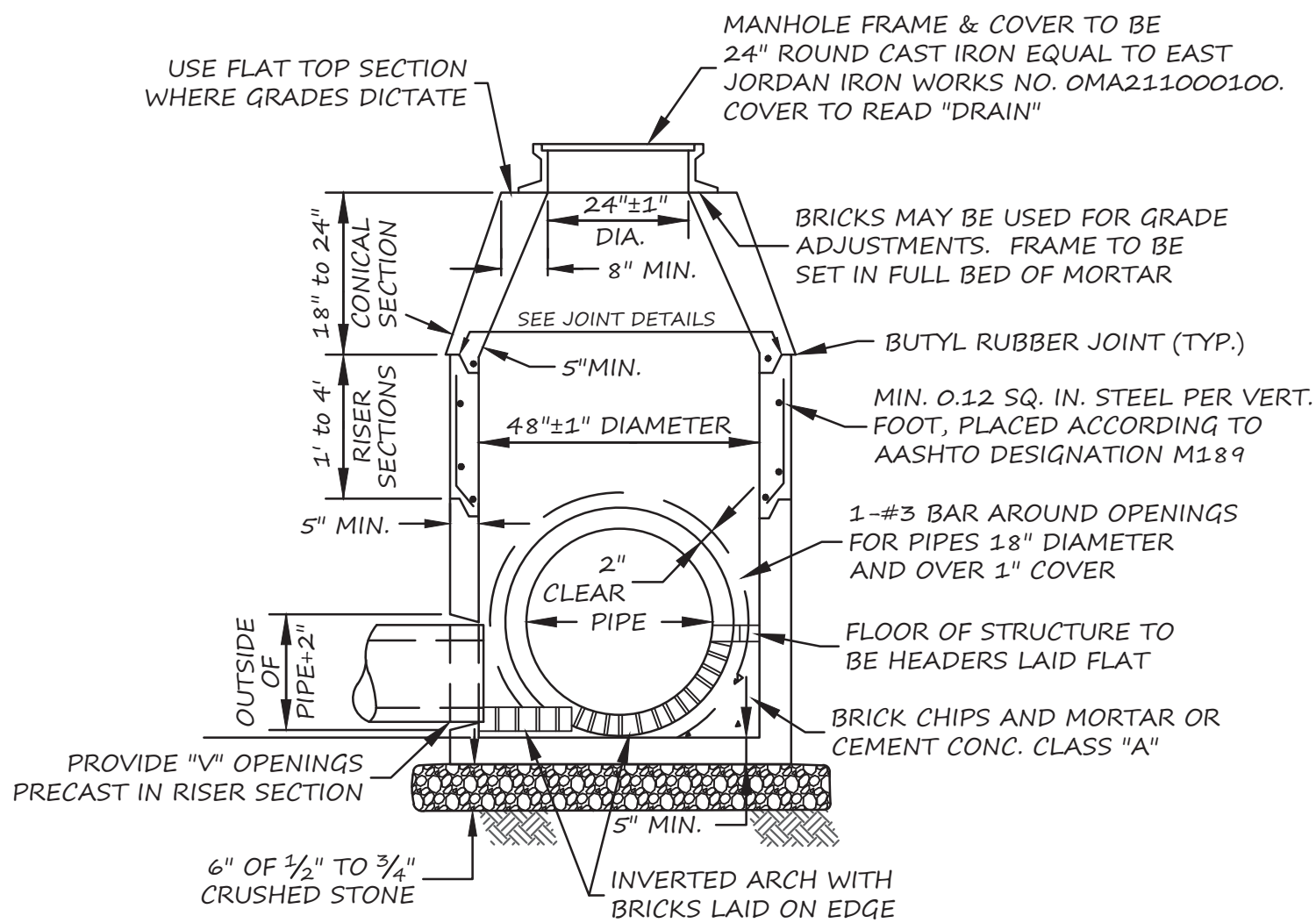
SCHEDULE OF DIMENSIONS AND ELEVATIONS

	BASIN #1	BASIN #2
BOTTOM OF BASIN ELEVATION "A"	210.5	216.0
SEASONAL HIGH GROUNDWATER	208.5-204.5	214.0-212.0
TOP OF BERM ELEVATION "B"	213.5	218.5
OUTLET WEIR WALL LENGTH "W"	17'	22'
OVERFLOW ORIFICE INVERT "X"	211.8	216.8
OVERFLOW ORIFICE WIDTH "Y"	6.0'	5.0'
RIP RAP SWALE OUTLET ELEV. "Z" (AT FACE OF WALL)	211.2	216.2



TYPICAL DRAIN TRENCH

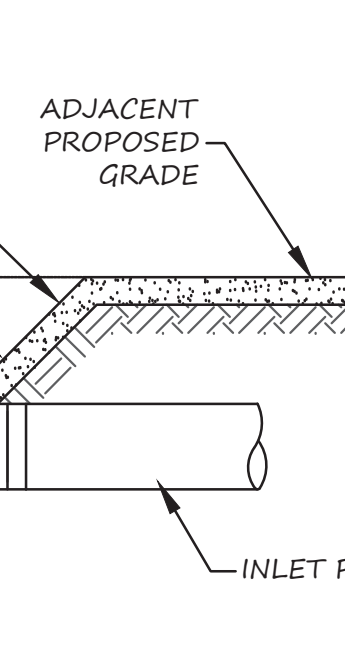
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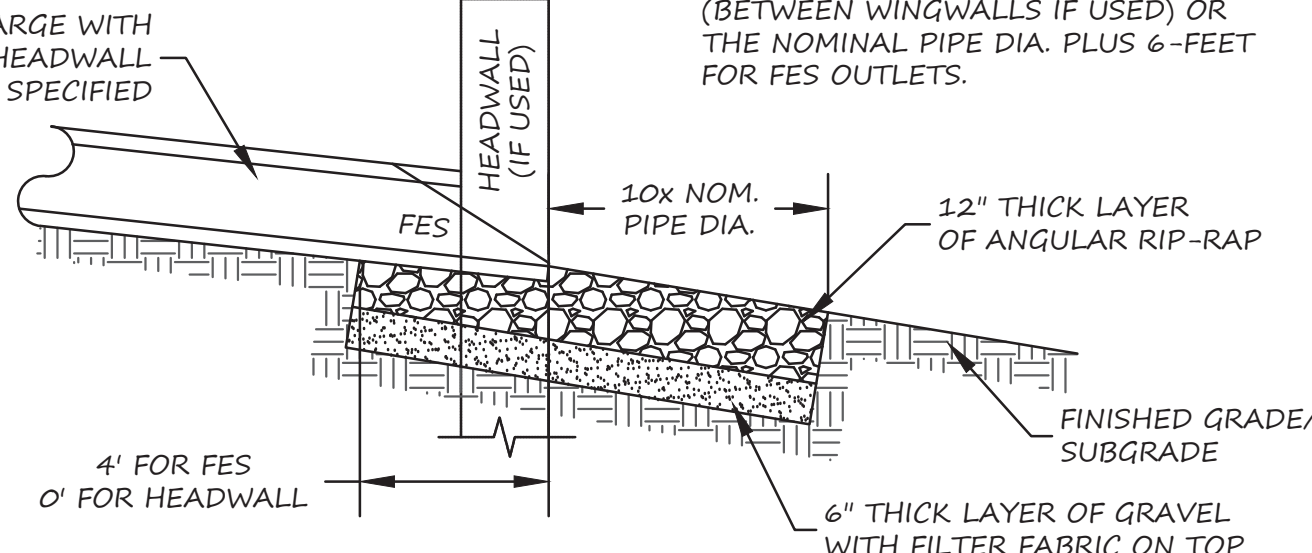
- NOTES:
1. MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
  2. SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

PRECAST CONCRETE MANHOLE

NOT TO SCALE



DRAIN DISCHARGE WITH FES OR HEADWALL AS SPECIFIED



TYPICAL RIP-RAP APRON DETAIL

NOT TO SCALE

OWNER:  
BRIAN DMYTRYCK  
1275 MAIN STREET  
MILLIS, MA 02054

ACORN OF MILLIS, LLC  
275 TURNPIKE STREET SUITE 300  
CANTON MA, 02021

APPLICANT:  
ACORN MILLIS RESIDENTIAL, LLC  
38 BENJAMINS GATE  
PLYMOUTH, MA 02360

ASSESSORS INFORMATION:  
31-127, 31-128, 31-129, 34-10,  
PORTION OF 34-126

ZONING CLASSIFICATION:  
RESIDENTIAL-SUBURBAN (R-S)

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MILLIS PLANNING BOARD



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2018.07.17 14:53:55 -04'00'

PLAN SCALE: NOT TO SCALE

PLAN DATE: JULY 12, 2018

BY

DATE

REVISION

ACORN PLACE  
DETAIL  
PLAN OF LAND  
IN  
MILLIS, MA

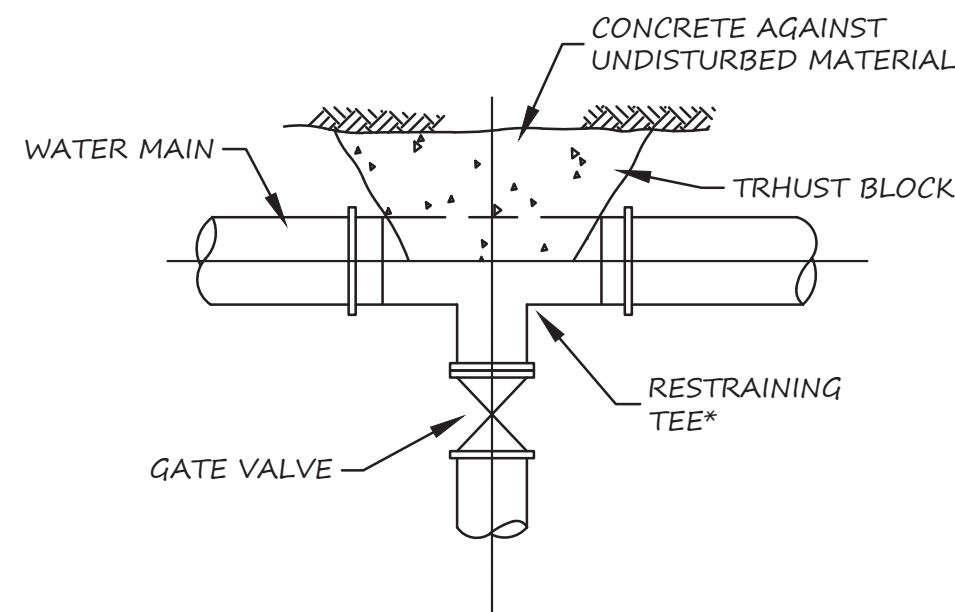


730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
ph. 508-376-8883 fax 508-376-8823

D69-02

SHEET 15 OF 16

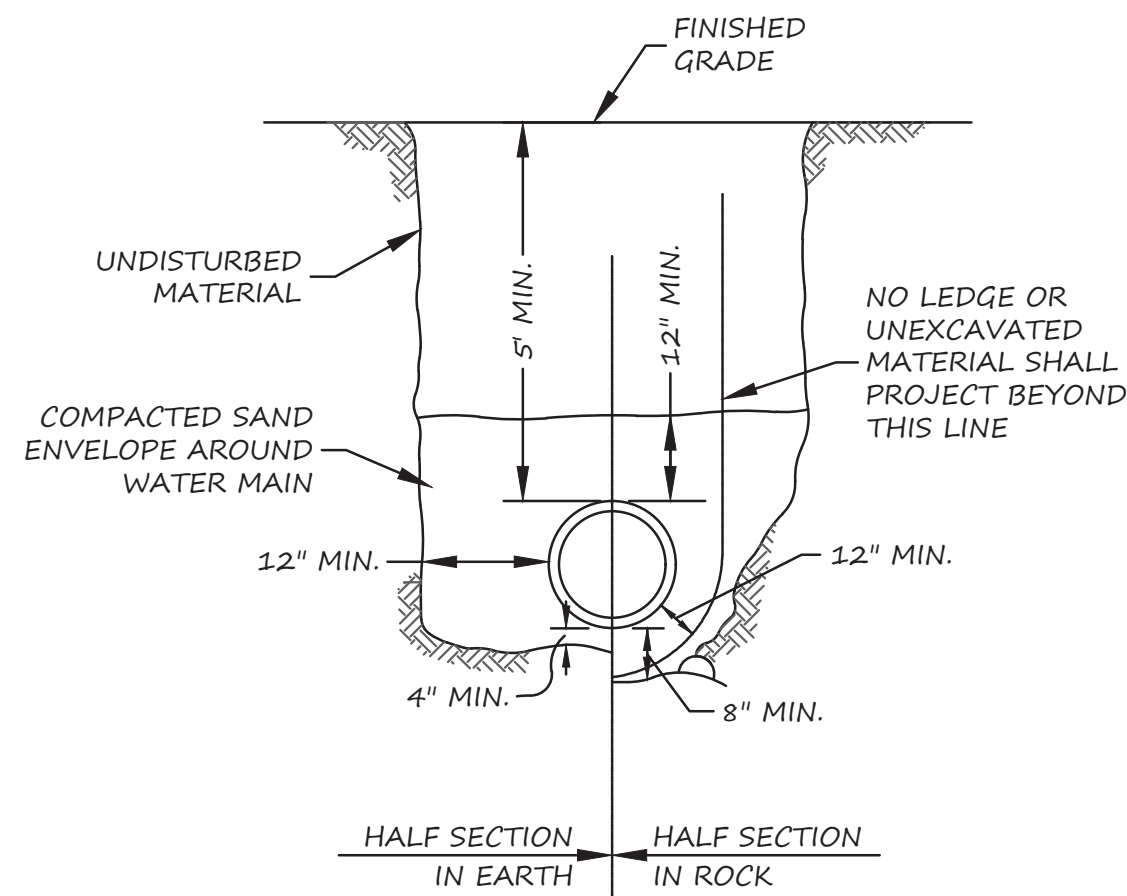




NOTE: MECHANICAL JOINT RESTRAINT SYSTEMS SUCH AS "MEGALUG" MAY BE USED SUBJECT TO APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS/ENGINEERING DEPT.

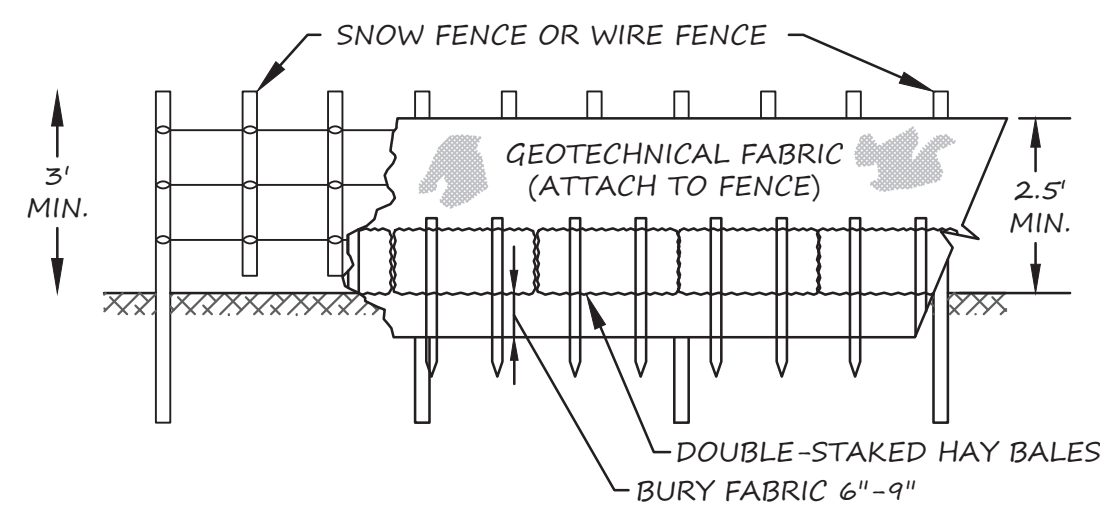
### TYPICAL LATERAL GATE VALVE CONNECTION DETAILS

NOT TO SCALE

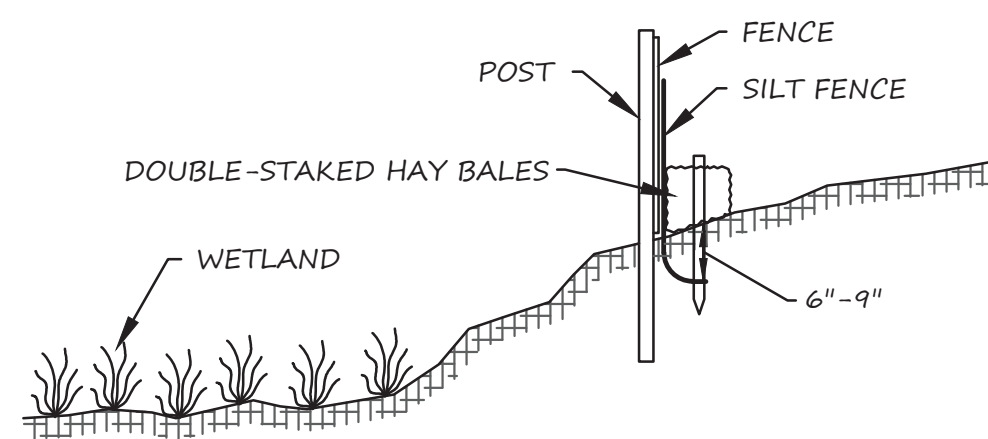


### WATER MAIN TRENCH DETAIL

NOT TO SCALE



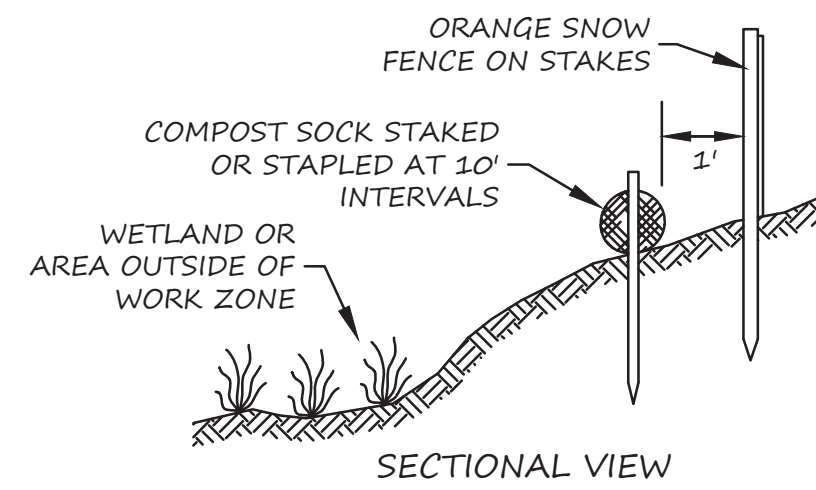
### FRONT VIEW



### SIDE VIEW

### EROSION CONTROL - TYPE 2 SILT FENCE & HAY-BALES

NOT TO SCALE

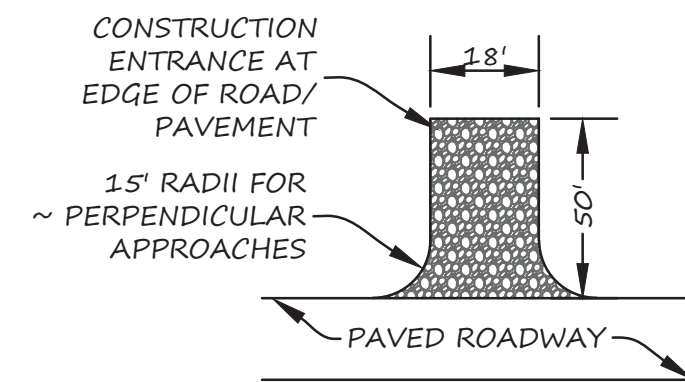


### SECTIONAL VIEW

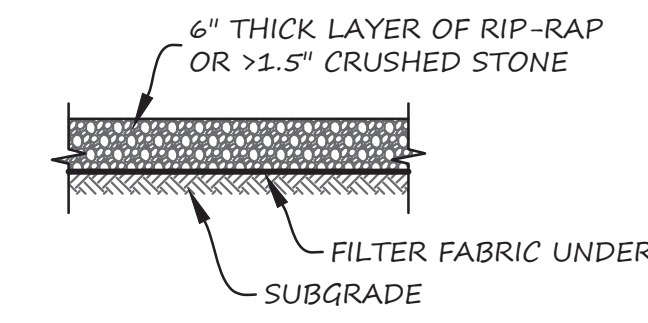
NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET.

### EROSION CONTROL (COMPOST SOCK)

NOT TO SCALE



### PLAN VIEW

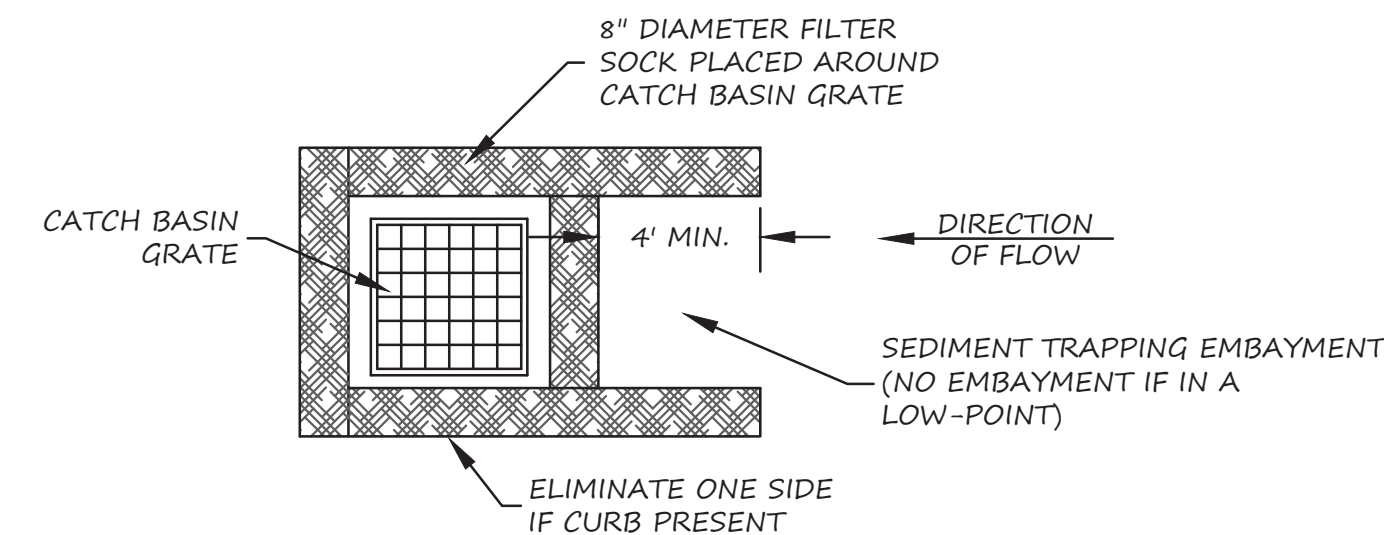


### SECTIONAL VIEW

- NOTES:
- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
  - ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

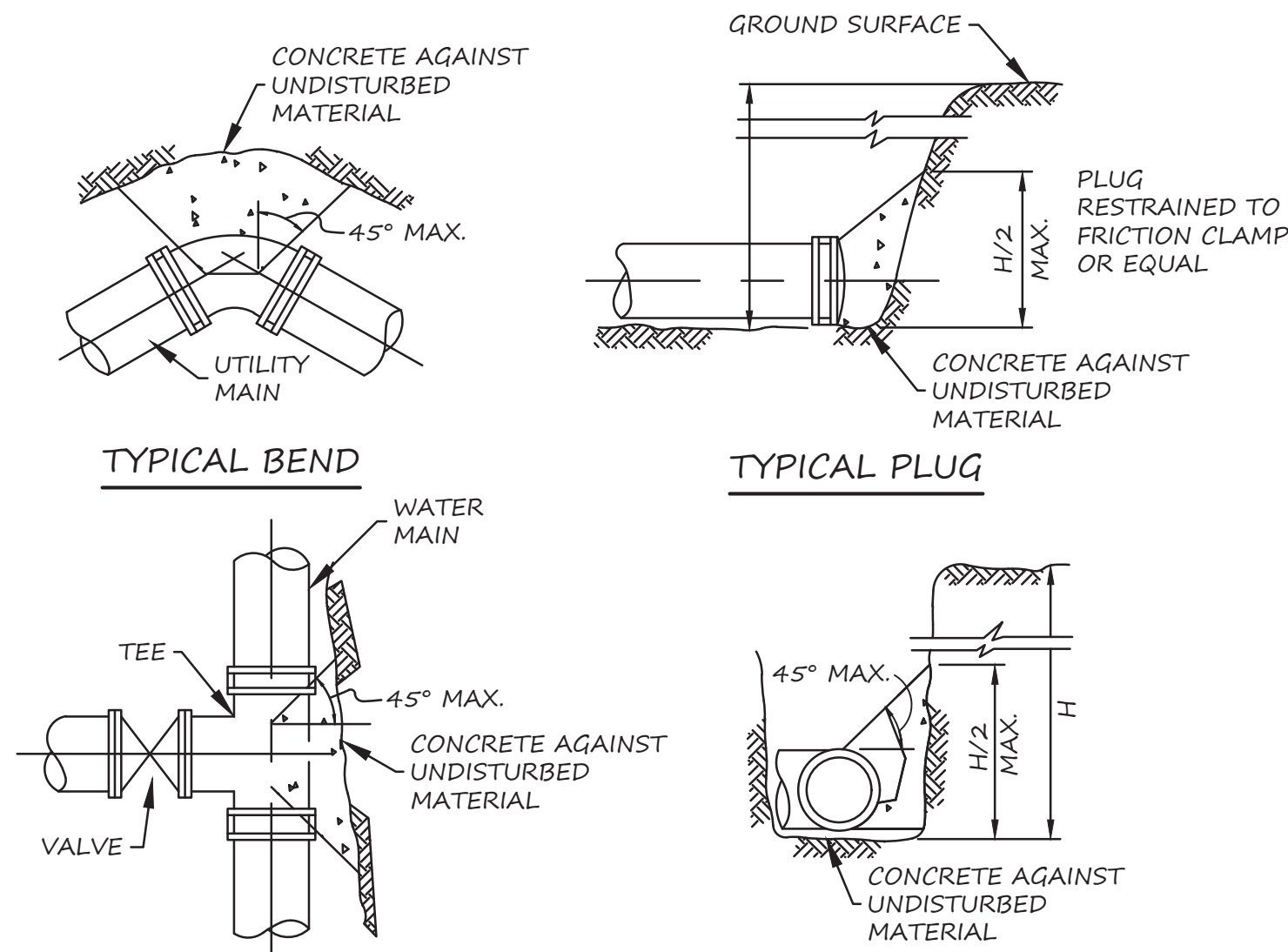
### CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



### INLET PROTECTION DETAIL

NOT TO SCALE



### TYPICAL BEND

### TYPICAL PLUG

### TYPICAL TEE

### TYPICAL SECTION

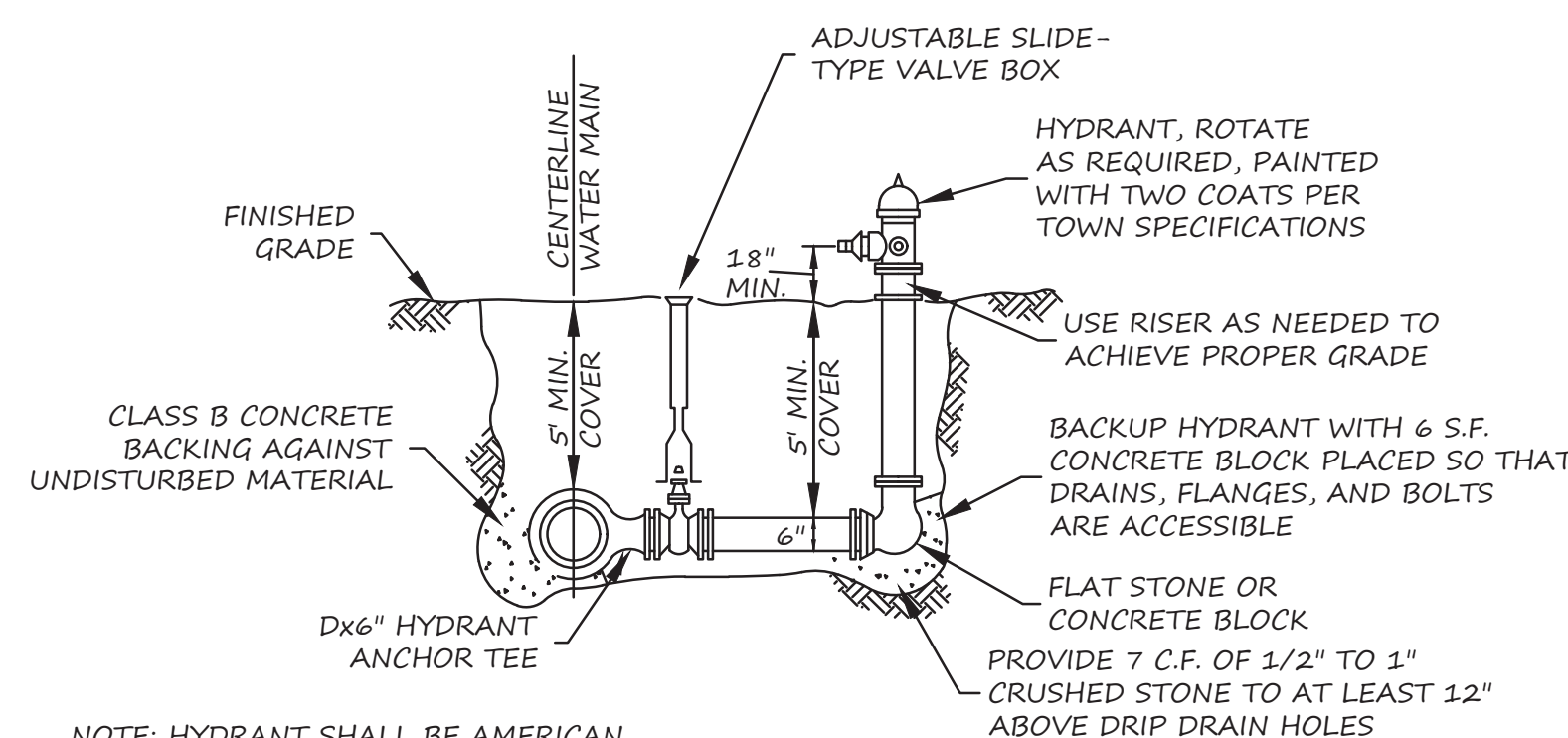
NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAT THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE)

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
2 AND 4	5	5		5
6 AND 8	8	8		8
10 AND 12	22	13	8	16

NOTE: TO BE PROVIDED FOR ALL WATER MAINS (IN ADDITION TO MEGALUG JOINT RESTRAINTS) AND LOW-PRESSURE SEWER MAIN AND SEWER FORCE MAIN BENDS.

### TYPICAL THRUST BLOCK DETAIL

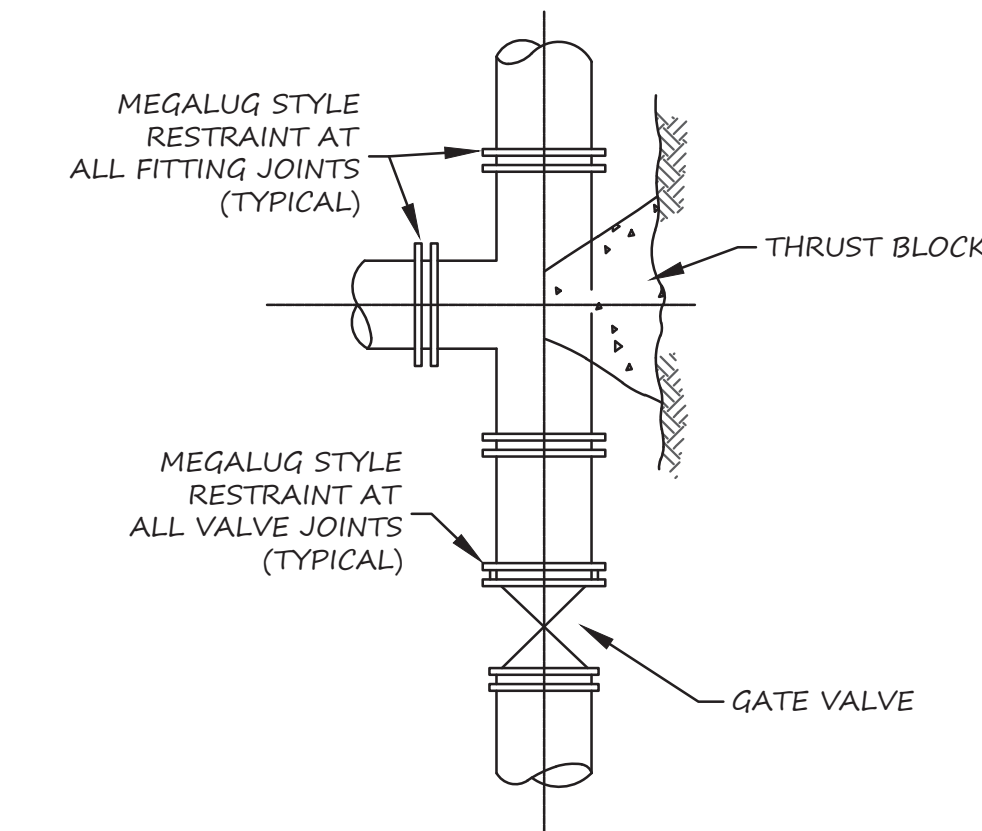
NOT TO SCALE



NOTE: HYDRANT SHALL BE AMERICAN DARLING MODEL B-84 OPEN RIGHT (CLOCKWISE)

### TYPICAL HYDRANT ASSEMBLY DETAIL

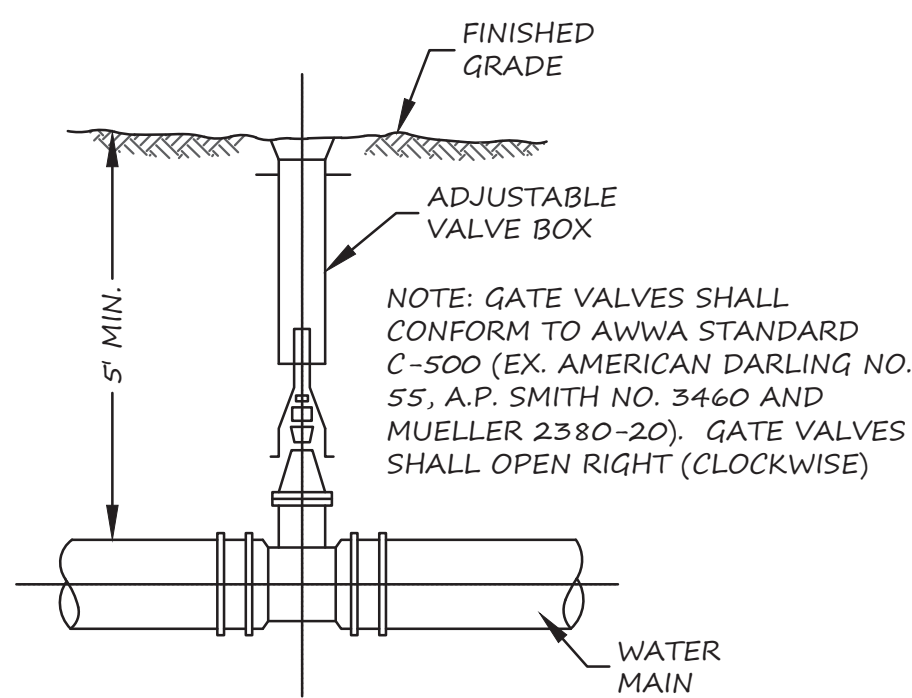
NOT TO SCALE



NOTE: ALL GATE VALVES AND FITTINGS SHALL BE PROVIDED WITH MEGALUG STYLE JOINT RESTRAINTS. TEES AND BENDS SHALL ALSO BE PROVIDED WITH THRUST BLOCKS.

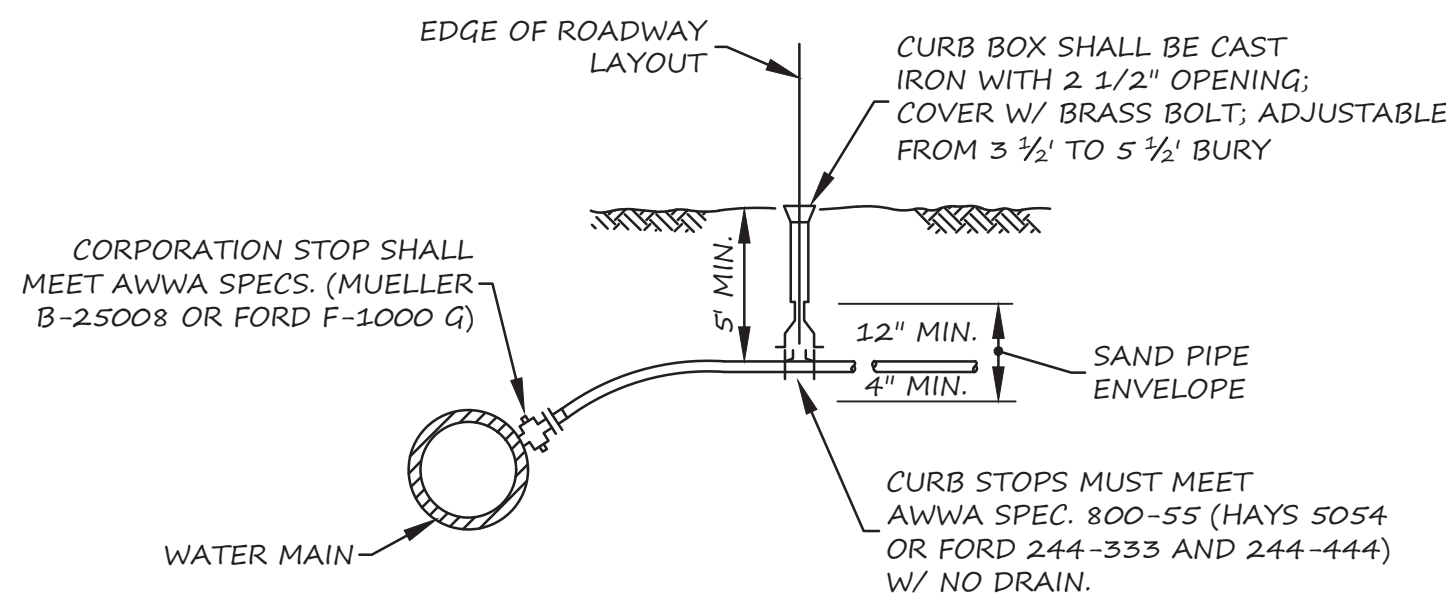
### TYPICAL JOINT RESTRAINT DETAIL

NOT TO SCALE



### TYPICAL GATE VALVE

NOT TO SCALE

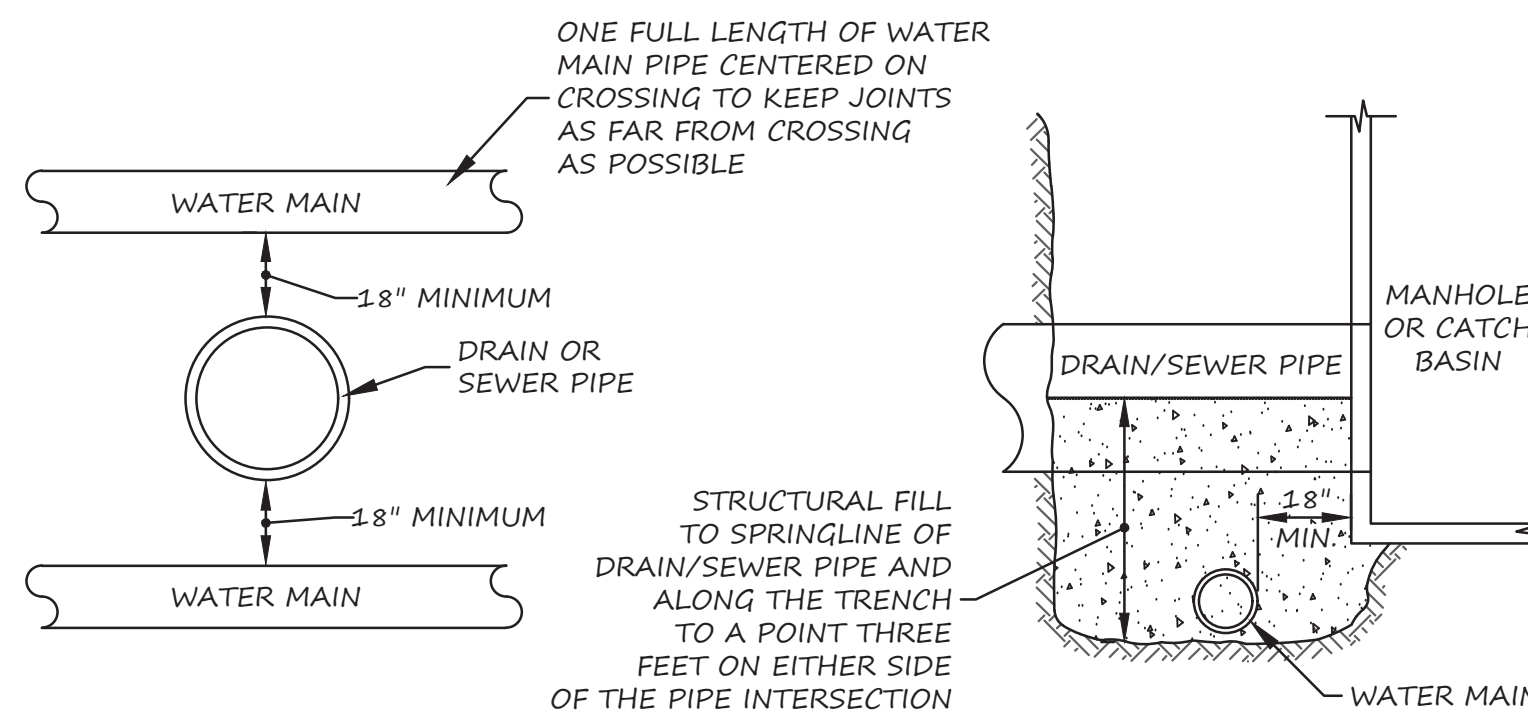


### NOTES:

- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
- 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.
- WATER SERVICE PIPING SHALL BE BEDDED IN COMPACTED SAND, MIN. 4\"/>

### TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



### WATER MAIN CROSSING DETAIL

NOT TO SCALE

OWNER:  
BRIAN DMYTRYCK  
1275 MAIN STREET  
MILLIS, MA 02054

ACORN OF MILLIS, LLC  
275 TURNPIKE STREET SUITE 300  
CANTON MA, 02021

APPLICANT:  
ACORN MILLIS RESIDENTIAL, LLC  
38 BENJAMINS GATE  
PLYMOUTH, MA 02360

ASSESSORS INFORMATION:  
31-127, 31-128, 31-129, 34-10,  
PORTION OF 34-126

ZONING CLASSIFICATION:  
RESIDENTIAL-SUBURBAN (R-S)

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MILLIS PLANNING BOARD



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2018.07.17 14:58:53 -04'00'

PLAN SCALE: NOT TO SCALE

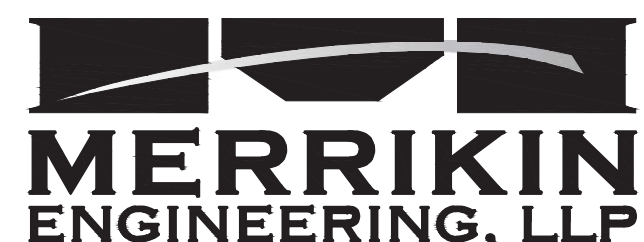
PLAN DATE: JULY 12, 2018

BY

DATE

REVISION

ACORN PLACE  
DETAIL  
PLAN OF LAND  
IN  
MILLIS, MA



730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054  
ph. 508-376-8883 fax 508-376-8823

D69-02

SHEET 16 OF 16



**TOWN OF MILLIS  
CONSERVATION COMMISSION  
NOTICE OF PUBLIC HEARING**

Pursuant to Article XIX, Town of Millis Wetlands Protection Bylaw, a public hearing will be held on Monday, August 6, 2018, at 8:25 p.m. at the Veterans Memorial Building, Room 104, 900 Main St., Millis, MA, on a Notice of Intent, under the Millis Wetlands Protection Bylaw, filed by Robert Fox, Acorn Millis Residential, LLC, 38 Benjamins Gate, Plymouth, MA 02360, for proposed construction of a 48 unit Senior Residential Community Development at Acorn St., Millis, MA. Assessor Map/Parcels 31-127, 31-128, 31-129, 34-10 & portion of 34-126. Property owned by Brian Dmytryck.

All interested parties are urged to attend.

Dr. James Lederer, Chair