



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

September 30, 2020

Conservation Commission

Town Offices

900 Main Street

Millis, MA 02054

Ref: Emerson Place Subdivision

Notice of Intent

DEP File No. CE225-0426

Dear Members of the Commission:

As discussed with the Commission at the last hearing, please find enclosed two copies of a revised subdivision plan reflecting the addition of the riverfront area for the off-site portions of Stream 1. While the basis for the riverfront analysis provided by Goddard Consultants in their report dated August 28, 2020 remains the same, the additional riverfront area created by the off-site portions of Stream 1 change the riverfront area quantities and impact areas as follows:

Stream 3 Impacts:

- ✓ Total Additional Riverfront Area: 236,653 s.f.
 - Additional Inner Riparian Zone (RZ): 97,715 s.f.
 - Additional Outer Riparian Zone (RZ): 138,938 s.f.
- ✓ Non-Exempt Proposed Construction of Road Crossing: 17,355 s.f.
 - Inner RZ work: 7,425 s.f.
 - Outer RZ: 9,930 s.f.
- ✓ Exempt BVW Replication Area (Stream 1/2 crossing): 2,048 s.f. (all in Outer RZ)



With these new values added to the Stream 1 values reported by Goddard Consulting, the new total impact figures are as follows (for the entire site):

- ✓ Total Riverfront Area: 678,574 s.f.
 - Inner RZ: 313,787 s.f.
 - Outer RZ: 364,787 s.f.
- ✓ Non-Exempt Work: 57,663 s.f. (total) = 8.50% of total RA
 - Roadway Construction: 54,376 s.f.
 - Inner RZ: 21,846 s.f.
 - Outer RZ: 32,530 s.f.
 - Lot 1 Backyard: 3,287 s.f. (Outer RZ only)
- ✓ Exempt Work: 34,117 s.f.
 - Outer RZ BVW Replication Areas:
 - Stream 1/2 crossing: 2,048 s.f.
 - Stream 3 crossing: 2,714 s.f.
 - Drainage Infrastructure: 29,355 s.f. (all at Stream 3 crossing)
 - Inner RZ: 1,889 s.f.
 - Outer RZ: 27,466 s.f.

Do not hesitate to contact me should you have any questions or comments.

Yours Truly,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President

cc: File



dan@legacy-ce.com

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Ref: Emerson Place Subdivision

Notice of Intent

DEP File No. CE225-0426

Dear Members of the Commission:

Please find enclosed and updated Form 3 with the final resource area impacts updated per the peer review process. Do not hesitate to contact me should you have any questions or comments.

Yours Truly,

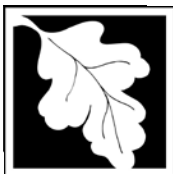
LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.

President

cc: File

MassDEP Central Region, 8 New Bond Street, Worcester, MA 01606



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Millis

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

Ridge Street

a. Street Address

Millis

b. City/Town

02054

c. Zip Code

Latitude and Longitude:

42.1735

d. Latitude

71.3684

e. Longitude

Multiple - See Attached Supplemental Information

g. Parcel /Lot Number

2. Applicant:

a. First Name

TD Development LLC

b. Last Name

c. Organization

38 Benjamin's Gate

d. Street Address

Plymouth

e. City/Town

MA

f. State

02360

g. Zip Code

617-212-0725

h. Phone Number

n/a

i. Fax Number

bobfoxden@gmail.com

j. Email Address

3. Property owner (required if different from applicant): ☒ Check if more than one owner

a. First Name

TD Development LLC

b. Last Name

c. Organization

38 Benjamins's Gate

d. Street Address

Plymouth

e. City/Town

MA

f. State

02360

g. Zip Code

617-212-0725

h. Phone Number

n/a

i. Fax Number

bobfoxden@gmail.com

j. Email address

4. Representative (if any):

Daniel

a. First Name

Merrikin

b. Last Name

Legacy Engineering LLC

c. Company

730 Main Street, Suite 2C

d. Street Address

Millis

e. City/Town

MA

f. State

02054

g. Zip Code

508-376-8883

h. Phone Number

N/A

i. Fax Number

dan@legacy-ce.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$5,400.00

a. Total Fee Paid

\$2,687.50

b. State Fee Paid

\$2,712.50

c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

Construction of infrastructure for a 43-lot single-family Open Space Development.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|--|
| 1. <input type="checkbox"/> Single Family Home | 2. <input checked="" type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. ☒ Yes ☐ No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)
- Roadway crossing per 310 CMR 10.53(3)e

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk

a. County

b. Certificate # (if registered land)

Multiple - See Attached Supplemental Info.

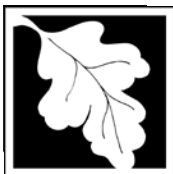
c. Book

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

1. ☐ Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
2. ☐ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input checked="" type="checkbox"/> Bank	125 1. linear feet	0 2. linear feet
b. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	3,976 permanent, 1,020 temp. 1. square feet	1,020 temp alt. & 6,710 new 2. square feet
c. <input checked="" type="checkbox"/> Land Under Waterbodies and Waterways	425 1. square feet 0 3. cubic yards dredged	425 2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	100 1. square feet 0 3. cubic feet of flood storage lost	100 2. square feet 0 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Unnamed streams 1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- ☐ 25 ft. - Designated Densely Developed Areas only
- ☐ 100 ft. - New agricultural projects only
- ☒ 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 678,574
square feet

4. Proposed alteration of the Riverfront Area:

<u>57,663</u> a. total square feet	<u>21,846</u> b. square feet within 100 ft.	<u>35,817</u> c. square feet between 100 ft. and 200 ft.
---------------------------------------	--	---

5. Has an alternatives analysis been done and is it attached to this NOI? ☒ Yes ☐ No

6. Was the lot where the activity is proposed created prior to August 1, 1996? ☒ Yes ☐ No

3. ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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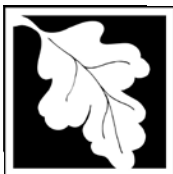
B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input checked="" type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings	b. number of replacement stream crossings

3



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C. Other Applicable Standards and Requirements

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Notice of Intent – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. ☐ Yes ☒ No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

2017

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.1.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. ☐ Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

2. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) ☐ Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) ☐ MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) ☐ Vegetation cover type map of site
- (e) ☐ Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. ☐ Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
2. ☐ Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
3. ☐ Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. ☒ Not applicable – project is in inland resource area only b. ☐ Yes ☐ No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
1213 Purchase Street – 3rd Floor
New Bedford, MA 02740-6694
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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Online Users:

Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. ☐ Yes ☒ No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. ☐ Yes ☒ No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. ☒ Yes ☐ No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. ☒ Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. ☐ Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. ☐ A portion of the site constitutes redevelopment
 3. ☒ Proprietary BMPs are included in the Stormwater Management System.
- b. ☐ No. Check why the project is exempt:
1. ☐ Single-family house
 2. ☐ Emergency road repair
 3. ☐ Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- ☐ This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. ☒ USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. ☒ Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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D. Additional Information (cont'd)

3. ☒ Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. ☒ List the titles and dates for all plans and other materials submitted with this NOI.

Emerson Place

a. Plan Title

Legacy Engineering LLC

b. Prepared By

February 12, 2020

d. Final Revision Date

Stormwater Report for Emerson Place

f. Additional Plan or Document Title

Daniel J. Merrikin P.E.

c. Signed and Stamped by

1" = 40'

e. Scale

February 12, 2020

g. Date

5. ☒ If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. ☐ Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. ☐ Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. ☒ Attach NOI Wetland Fee Transmittal Form
9. ☒ Attach Stormwater Report, if needed.

E. Fees

1. ☐ Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1247

2. Municipal Check Number

2332

4. State Check Number

TD Development LLC

6. Payor name on check: First Name

2/7/2020

3. Check date

2/17/2020

5. Check date

Acorn Millis Residential LLC

7. Payor name on check: Last Name

EMERSON PLACE

DEFINITIVE SUBDIVISION

PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PLAN
FEBRUARY 12, 2020
Latest Revision: September 28, 2020

PREPARED FOR:
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO
THIS PLAN CONFORM TO THE TECHNICAL
STANDARDS FOR PROPERTY SURVEYS OF THE
AMERICAN CONGRESS ON SURVEYING AND
MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A
DECISION FILED WITH THE TOWN CLERK ON
JUNE 17, 2020, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY TD DEVELOPMENT, LLC ET AL.,
DATED _____, AND RECORDED IN
THE NORFOLK COUNTY REGISTRY OF DEEDS
SIMULTANEOUSLY HEREWITH. THE
REQUIREMENTS OF THE COVENANT RUN WITH
THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

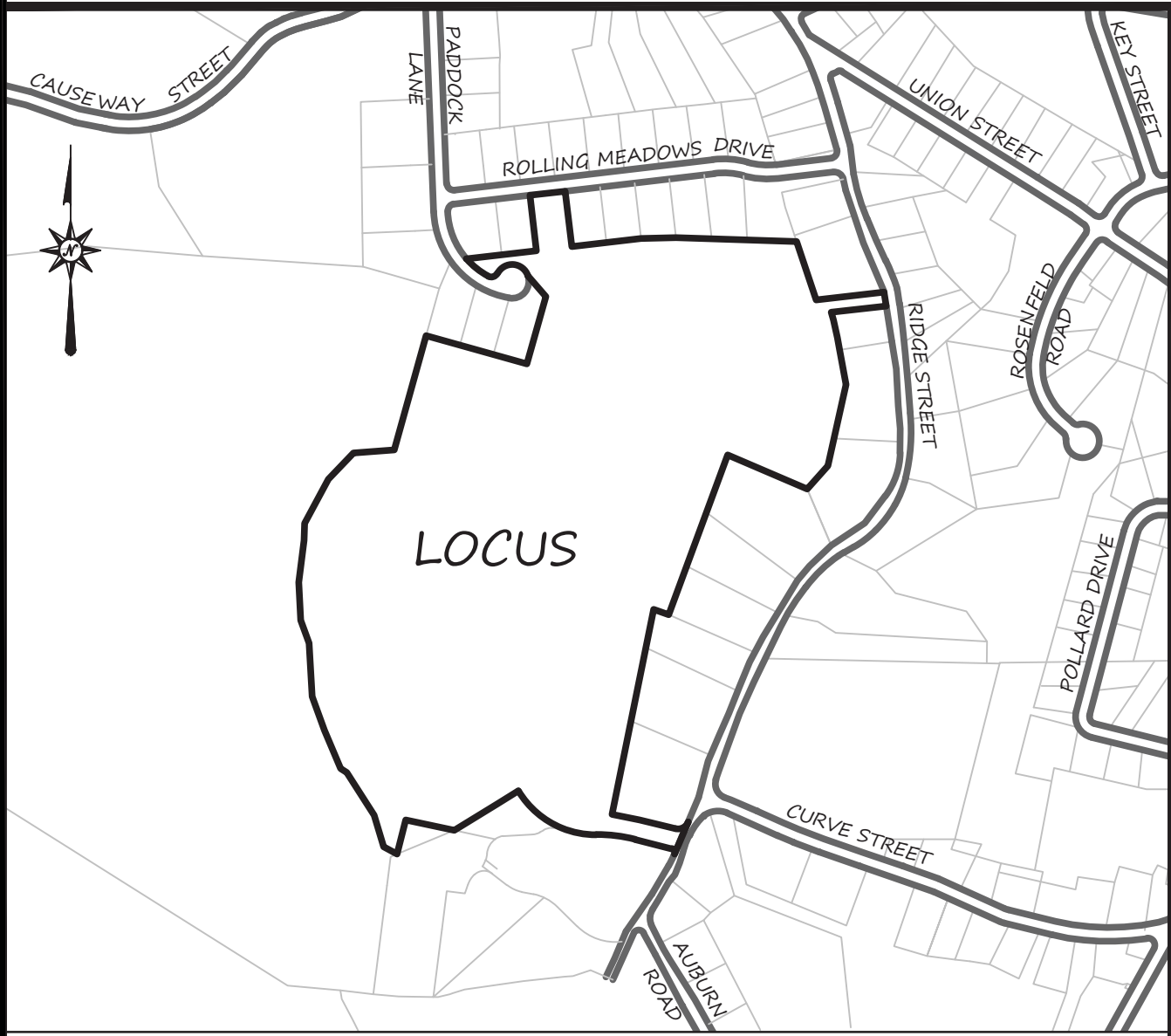
DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD



- WAIVERS GRANTED:
1. TO REQUIRE A SIDEWALK ON ONLY ONE SIDE OF EACH PROPOSED ROADWAY (5.1.2, FIGURE 1-A, 5.4.2).
 2. TO NOT REQUIRE FIRE ALARMS OR POLICE CALL BOXES (5.11).
 3. TO ALLOW LESS THAN 7.0 FEET OF COVER OVER A SEWER LINE (5.12.1.b, FIGURE 1-A).
 4. TO ALLOW STORMWATER BASINS TO HAVE FLAT BOTTOMS AND NO LOW FLOW CHANNEL TO ENCOURAGE MAXIMUM INFILTRATION IN ACCORDANCE WITH STANDARD MASSDEP DESIGN PRACTICES (5.12.2.2.c.5(c)).
 5. TO ALLOW STREET LIGHTS TO BE LOCATED AT INTERSECTIONS ONLY AS SHOWN, WITH EACH LOT REQUIRED TO PROVIDE A LIGHT POST WITHIN 10 FEET OF THE EDGE OF RIGHT-OF-WAY AND DRIVEWAY (5.10).
 6. TO ALLOW STORMWATER BASINS TO BE LOCATED ON MULTIPLE LOTS (5.12.2.2.c.2).
 7. TO ALLOW STORMWATER PIPE TO BE HDPE INSTEAD OF CONCRETE OUTSIDE OF THE ROAD RIGHT OF WAY (5.12.2.2.d.1).
 8. TO ALLOW COVER OVER DRAIN PIPES TO BE LESS THAN 4.5' (5.12.2.2.d.1).
 9. TO NOT REQUIRE CHANGES IN PIPE SIZE ACROSS DRAIN MANHOLES TO BE MATCHED IN ELEVATION AT THE CROWN OF THE PIPES.
 10. TO REDUCE THE WIDTH OF GRASS STRIPS AT THE TWO WETLAND CROSSINGS (5.1.2, FIGURE 1-A, 5.5)



LOCUS PLAN
SCALE: 1" = 600'

LOCUS
SCALE: 1" = 150'



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 11:48:59 -04'00'

PLAN SCALE: AS NOTED

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-06-30	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
COVER
PLAN OF LAND IN
MILLIS, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-1



LEGACY
ENGINEERING

GENERAL NOTES

- DATUM: NGVD88
- PROPERTY LINE SURVEYED BY COLONIAL ENGINEERING, INC.
- EXISTING UTILITY INFORMATION BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE PROPERTY SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.
- PLAN REFERENCES:
PLAN YEAR 1957 NO. 339
PLAN YEAR 1989 NO. 363
PLAN BOOK 205 NO. 457 AND 458
PLAN BOOK 433 NO. 533
PLAN BOOK 677 NO. 42
LAND COURT PLAN 15728M
- DEED REFERENCES:
BOOK 5974 PAGE 244 (PARCELS 20-26&28)
BOOK 15729 PAGE 230 (PARCEL 20-25)
BOOK 24970 PAGE 572 (PORTION OF PARCEL 23-04)
BOOK 37590 PAGE 91 (PARCEL 20-53)
BOOK 37244 PAGE 254 (PARCEL 20-27)
BOOK 37590 PAGE 91 (PORTION OF PARCEL 20-53)
LAND COURT DOC. NO. 657487 (PARCEL 20-25)
(CERTIFICATE NO. 139613)
LAND COURT DOC. NO. 1362565 (PARCEL 15-66)
(CERTIFICATE NO. 194152)

CONSERVATION NOTES:

- WETLANDS BOUNDARIES WERE DELINEATED BY GODDARD CONSULTING UNDER AN ORAD (SEE ANRAD NOTES).
- OPEN SPACE WILL BE LEFT IN A NATURALLY VEGETATED STATE UNLESS OTHERWISE APPROVED BY THE PLANNING BOARD AND IF WITHIN THE JURISDICTION OF THE CONSERVATION COMMISSION, FROM THE COMMISSION ALSO. THE HOMEOWNERS ASSOCIATION MAY CREATE WALKING/RIDING PATHS THROUGH THE AREA.

ORAD NOTES

- THE FOLLOWING RESOURCE AREAS WERE DELINEATED UNDER THE ORAD ON PORTIONS OF THE SITE:
 - BORDERING VEGETATED WETLANDS REGULATED UNDER THE MILLIS BYLAW AND THE WETLANDS PROTECTION ACT.
 - BORDERING VEGETATED WETLAND REGULATED UNDER THE MILLIS BYLAW ONLY, AND NOT THE WETLANDS PROTECTION ACT (FLAGS 1-100 THROUGH 1-111).
 - MAHW TO SOME OF THE VERNAL POOLS REGULATED UNDER THE MILLIS BYLAW AND THE WETLANDS PROTECTION ACT.
- A SERIES OF "POTENTIAL VERNAL POOLS" HAVE BEEN DELINEATED ON THE SITE.
 - MASSACHUSETTS DEP ONLY RECOGNIZES VERNAL POOLS THAT HAVE BEEN CERTIFIED BY THE MASSACHUSETTS DIVISION OF FISHERIES AND WILDLIFE. THE VERNAL POOLS ON THIS SITE HAVE NOT BEEN SO CERTIFIED.
 - THE TOWN OF MILLIS DOES NOT REQUIRE THAT VERNAL POOLS BE CERTIFIED BY THE MASSACHUSETTS DIVISION OF FISHERIES AND WILDLIFE SO LONG AS THEY EXHIBIT VERNAL POOL PROPERTIES. AS SUCH, THE VERNAL POOLS THAT EXHIBIT VERNAL POOL PROPERTIES ARE LABELED AS "VERNAL POOLS" ON THE PLANS UNDER THE MILLIS BYLAW ONLY. THESE VERNAL POOLS INCLUDE PVP 2, PVP 3, PVP Z AND PVP 500.
- THE SITE CONTAINS BORDERING LAND SUBJECT TO FLOODING BASED ON A FEMA ZONE A APPURTENANT TO THE ADJACENT GREAT BLACK SWAMP. ALTHOUGH A ZONE A, A FLOOD ELEVATION OF 142.9 IS CONSERVATIVELY ASSUMED.
- UNDER THE MILLIS WETLAND REGULATIONS, THE "ADJACENT UPLAND RESOURCE AREA" (AURA) IS COINCIDENTAL WITH THE 100' BUFFER ZONE.

CONSTRUCTION NOTES:

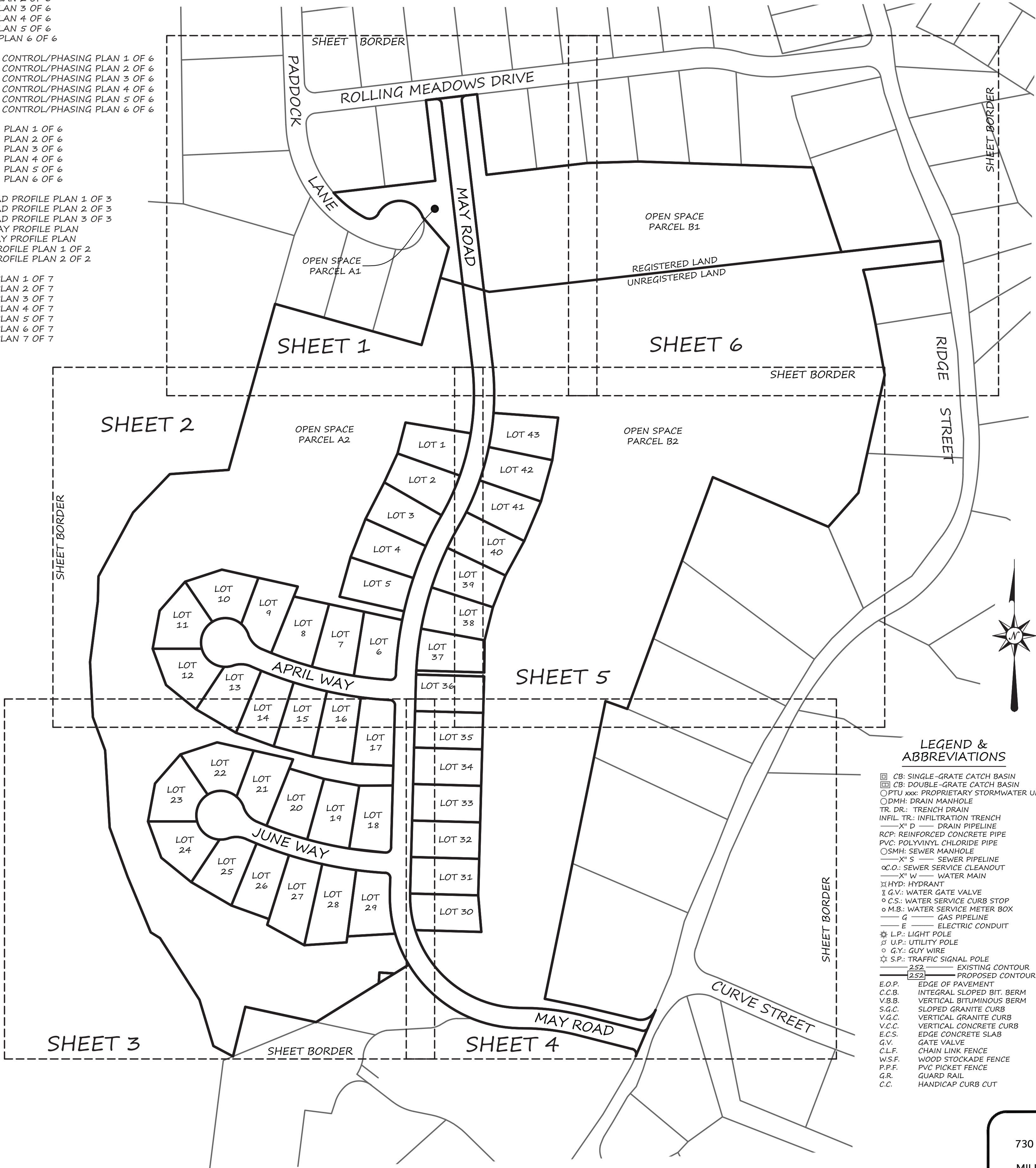
- THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
- THE DEVELOPER SHALL OBTAIN A STREET OPENING PERMIT FROM THE TOWN OF MILLIS, IF REQUIRED, PRIOR TO THE CONSTRUCTION OF THE STREET OPENINGS ON RIDGE STREET AND ROLLING MEADOWS DRIVE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED STREET NAME AND STOP SIGNS.
- UNLESS OTHERWISE WAIVED, ALL CONSTRUCTION SHALL CONFORM TO THE SUBDIVISION REGULATIONS.
- DETAILS HAVE BEEN PROVIDED ON THE LAST SHEETS OF THIS PLAN SET. MOST OF THE DETAILS INCLUDED THEREIN ARE INTENDED TO MATCH THE REQUIREMENTS OF THE TOWN OF MILLIS LAND "SUBDIVISION RULES" AND REGULATIONS FOR ROADWAY AND UTILITY CONSTRUCTION. WHERE THE STANDARD DETAILS INCLUDED HEREIN DIFFER FROM THE SUBDIVISION RULES, THE SUBDIVISION RULES SHALL BE ADHERED TO UNLESS OTHERWISE AGREED BY THE MILLIS PLANNING BOARD.
- CURBS SHALL BE TYPE SB SLOPED GRANITE EDGING PER MASSDOT M.9.04.2, EXCEPT AS OTHERWISE NOTED.
- TYPE VB GRANITE CURB PER MASSDOT M.9.04.1 SHALL BE INSTALLED AT ALL INTERSECTIONS FOR THE FULL LENGTH OF THE ROUNDED CURVE AND ALONG THE STREAM CROSSING RETAINING WALLS WHERE SHOWN.
- GRANITE THROAT STONES SHALL BE INSTALLED WITH ALL CATCH BASINS AGAINST A ROADWAY GUTTER/CURB LINE.
- GRANITE TRANSITION STONES SHALL BE PROVIDED BETWEEN ALL VERTICAL GRANITE (INCLUDING THROAT STONES) AND SLOPED GRANITE EDGING.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS AND/OR HEADWALLS. DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.
- SHADE TREES SHALL BE PROVIDED WHERE SHOWN ON THE PLAN PER 5.5.3 OF THE SUBDIVISION REGULATIONS AS APPROVED BY THE PLANNING BOARD AGENT. TREES SHALL BE AT LEAST 12' IN HEIGHT AT THE TIME OF PLANTING AND SHALL BE OF A SPECIES APPROVED BY THE PLANNING BOARD AGENT.
- PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS FOR THE FOLLOWING: STOP LINES.
- A REPRESENTATIVE OF THE TOWN IS TO OBSERVE THE SUBSOIL CONDITIONS PRIOR TO THE INSTALLATION OF ANY INFILTRATION BASIN.
- TRENCHES ARE NOT TO BE LEFT OPEN OVERNIGHT. ADEQUATE FENCING AND SIGNAGE ARE TO BE PROVIDED AROUND EXCAVATED AREAS TO THE SATISFACTION OF THE BOARD OF HEALTH.
- NO TREE STUMPS OR BOULDERS IN EXCESS OF 20 CUBIC FEET IN VOLUME ARE TO BE BURIED ON SITE.
- ALL AREAS DISTURBED BY EXCAVATION ACTIVITIES ARE TO BE SURFACED WITH A MINIMUM OF 4 INCHES OF TOPSOIL AND SEEDED.

UTILITY NOTES:

- ALL PIPELINE LINEAR FOOTAGES REFERENCED IN THESE PLANS ARE HORIZONTAL DISTANCES AND DO NOT REFLECT THE SLOPED DISTANCE OF THE PIPELINE.
- THE PRE-CONSTRUCTION CONDITION OF RIDGE STREET AND ROLLING MEADOW DRIVE SHALL BE VIDEO TAPED PRIOR TO ANY CONSTRUCTION ACTIVITIES. COPIES OF THE VIDEO SHALL BE PROVIDED TO LEGACY ENGINEERING LLC AND THE MILLIS DPW PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL UNDERGROUND FIRE ALARM, GAS, ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS WITHIN THE ROADWAY RIGHT-OF-WAY. DESIGN SHALL INCLUDE THE APPROPRIATE CONDUIT RUNS AND JUNCTION BOX LOCATIONS. JUNCTION BOXES HAVE BEEN APPROXIMATELY SHOWN ON THE LOT CORNERS BUT SUCH LOCATIONS MAY BE CHANGED BY THE ELECTRIC COMPANY AT THE TIME OF CONSTRUCTION.
- FIRE ALARM AND/OR POLICE BOXES ARE NOT TO BE PROVIDED. REFER TO THE SUBDIVISION DECISION.
- WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. ALL BRASS GOODS FOR POTABLE WATER SYSTEMS TO BE LEAD FREE.
- UNLESS OTHERWISE SPECIFIED, DRAIN PIPING SHALL BE CLASS III RCP. DRAIN PIPING LOCATED ENTIRELY OUTSIDE OF THE STREET RIGHT-OF-WAY MAY BE HDPE. DRAIN PIPING IN THE STREET WITH LESS THAN 3' COVER SHALL BE CLASS IV RCP.
- GRAVITY SEWER MAINS AND SERVICES SHALL BE SDR35 PVC PIPE.
- LOW-PRESSURE SEWER MAINS SHALL BE CLASS 200-SDR21 PVC PIPE.
- ALL SEWER SYSTEMS SHALL BE FURNISHED, INSTALLED AND TESTED IN ACCORDANCE WITH THE JULY 2007 TOWN OF MILLIS SEWER CONSTRUCTION GUIDELINES.
- ALL WATER SYSTEMS SHALL BE FURNISHED, INSTALLED AND TESTED IN ACCORDANCE WITH THE JULY 2007 TOWN OF MILLIS WATER MAIN CONSTRUCTION GUIDELINES.
- EACH LOT SHALL PROVIDE A LAMP POST WITHIN 10 FEET OF THE EDGE OF THE ROADWAY RIGHT-OF-WAY AND THE EDGE OF ITS DRIVEWAY.
- STREET LIGHTS SHALL BE PHILIPS LUMEC L80-SE-SF80 (100 WATT MH) ON A 12' DECORATIVE POLE, OR MILLIS DPW APPROVED EQUAL. THESE ARE INTENDED TO BE CONSISTENT WITH LIGHT POLES IN DOWNTOWN MILLIS.

SHEET LEGEND

- C-1: COVER SHEET
- C-2: INDEX, NOTES, LEGEND, KEY
- C-3: EXISTING CONDITIONS
- C-4: LAYOUT OVERVIEW
- C-5: LAYOUT PLAN 1 OF 6
- C-6: LAYOUT PLAN 2 OF 6
- C-7: LAYOUT PLAN 3 OF 6
- C-8: LAYOUT PLAN 4 OF 6
- C-9: LAYOUT PLAN 5 OF 6
- C-10: LAYOUT PLAN 6 OF 6
- C-11: EROSION CONTROL/PHASING PLAN 1 OF 6
- C-12: EROSION CONTROL/PHASING PLAN 2 OF 6
- C-13: EROSION CONTROL/PHASING PLAN 3 OF 6
- C-14: EROSION CONTROL/PHASING PLAN 4 OF 6
- C-15: EROSION CONTROL/PHASING PLAN 5 OF 6
- C-16: EROSION CONTROL/PHASING PLAN 6 OF 6
- C-17: GRADING PLAN 1 OF 6
- C-18: GRADING PLAN 2 OF 6
- C-19: GRADING PLAN 3 OF 6
- C-20: GRADING PLAN 4 OF 6
- C-21: GRADING PLAN 5 OF 6
- C-22: GRADING PLAN 6 OF 6
- C-23: MAY ROAD PROFILE PLAN 1 OF 3
- C-24: MAY ROAD PROFILE PLAN 2 OF 3
- C-25: MAY ROAD PROFILE PLAN 3 OF 3
- C-26: APRIL WAY PROFILE PLAN
- C-27: JUNE WAY PROFILE PLAN
- C-28: DRAIN PROFILE PLAN 1 OF 2
- C-29: DRAIN PROFILE PLAN 2 OF 2
- C-30: DETAIL PLAN 1 OF 7
- C-31: DETAIL PLAN 2 OF 7
- C-32: DETAIL PLAN 3 OF 7
- C-33: DETAIL PLAN 4 OF 7
- C-34: DETAIL PLAN 5 OF 7
- C-35: DETAIL PLAN 6 OF 7
- C-36: DETAIL PLAN 7 OF 7



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO THIS PLAN CONFORM TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A DECISION FILED WITH THE TOWN CLERK ON JUNE 17, 2020, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TD DEVELOPMENT, LLC ET. AL., DATED _____, AND RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS SIMULTANEOUSLY HEREWITH. THE REQUIREMENTS OF THE COVENANT RUN WITH THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-2

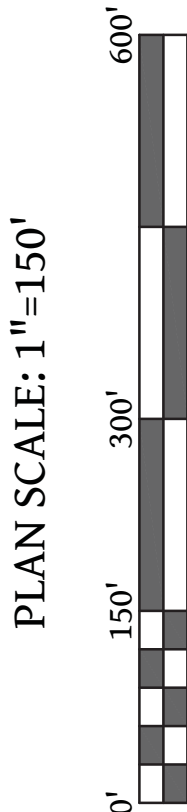
D69-03



LEGACY
ENGINEERING



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 11:57:43
04'00"



PLAN SCALE: 1"=150'

REVISION	DATE	BY	DATE
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM	
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM	
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM	
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM	
STREAM #1 STATUS NOTES	2020-09-14	DJM	
STREAM #1 STATUS NOTES	2020-09-14	DJM	
STREAM #1 STATUS NOTES	2020-09-28	DJM	

PLAN DATE: FEBRUARY 12, 2020

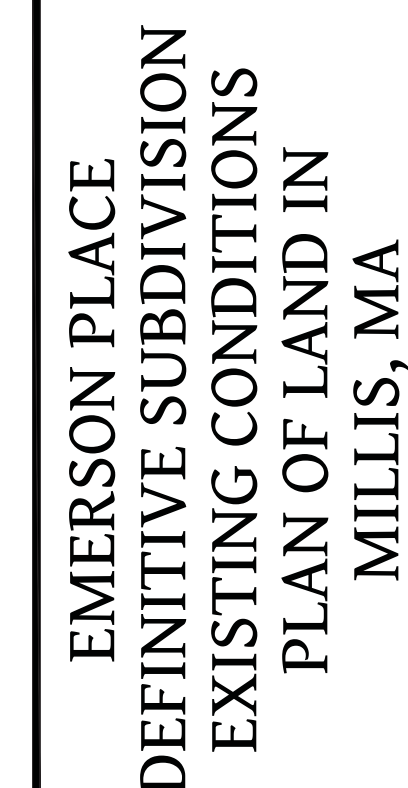
EMERSON PLACE
DEFINITIVE SUBDIVISION
INDEX, NOTES, LEGEND, KEY
PLAN OF LAND IN
MILLIS, MA



1. THE TOTAL PARCEL AREA INCLUDES ASSESSOR'S PARCELS 15-66, 20-25 THROUGH 20-28, AND A PORTION OF 20-53 AND 23-04, AND EXCLUDES PORTIONS OF 20-25 AND 20-26.

TOWN OF MILLIS PLANNING BOARD

D69-03



LAYOUT NOTES:

- EXISTING PARCEL
 - WETLANDS 20.23 ACRES
 - 50' WETLAND BUFFER 8.72 ACRES
 - BLSF (OUTSIDE 50' BUF.) 1.98 ACRES
 - UPLAND 30.30 ACRES
 - TOTAL 61.23 ACRES
 - PERCENT "UPLAND" 49.48%
 - REQUIRED OPEN SPACE (35%) 21.43 ACRES
 - REQUIRED UPLAND OPEN SPACE 10.60 ACRES
- PROPOSED OPEN SPACE SUBDIVISION
 - ROAD 4.61 ACRES
 - LOTS & PARCEL C 15.09 ACRES
 - BASIN IN OPEN SPACE 0.81 ACRES
 - OPEN SPACE PARCELS A1, A2, B1, & B2
 - WETLANDS 20.24 ACRES
 - 50' WETLAND BUFFER 7.88 ACRES
 - BLSF/WPD (OUTSIDE 50' BUF.) 1.98 ACRES
 - "UPLAND AREA" 10.62 ACRES
 - TOTAL 40.72 ACRES
- PROPOSED OPEN SPACE TO BE OWNED AND CONTROLLED BY THE HOMEOWNERS ASSOCIATION.
- PROPOSED OPEN SPACE INCLUDES PARCELS A1, A2, B1, & B2.
- UPLANDS EXCLUDES BORDERING VEGETATED WETLANDS (BVW), 50' BVW BUFFER, WATERSHED PROTECTION DISTRICT AND SPECIAL FLOOD HAZARD DISTRICT
- BLSF = BORDERING LAND SUBJECT TO FLOODING AND MILLIS SPECIAL FLOOD HAZARD DISTRICT
- WPD = MILLIS WATERSHED PROTECTION DISTRICT

LOT REQUIREMENTS*:

LOT AREA
MINIMUM: 15,000 S.F.
PROPOSED: 15,009± S.F. MIN.
AVERAGE: 15,150± S.F.
FRONTAGE
MINIMUM: 75'
PROPOSED: 76' MIN.
SETBACKS
FRONT
MINIMUM: 20'
PROPOSED: 20' MIN.
SIDE
MINIMUM: 10'
PROPOSED: 10' MIN.
REAR
MINIMUM: 20'
PROPOSED: 20' MIN.

*PER SECTION XVIII.C OF BYLAW.

NOTE:

- EACH NEW HOUSE IN THIS SUBDIVISION SHALL CONSTRUCT A ROOF RUNOFF LEACHING SYSTEM AS SHOWN ON THE DETAIL SHEETS.



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJK LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO THIS PLAN CONFORM TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

PROFESSIONAL LAND SURVEYOR

INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A DECISION FILED WITH THE TOWN CLERK ON JUNE 17, 2020, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TD DEVELOPMENT, LLC ET AL., DATED _____ AND RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS SIMULTANEOUSLY HERewith. THE REQUIREMENTS OF THE COVENANT RUN WITH THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

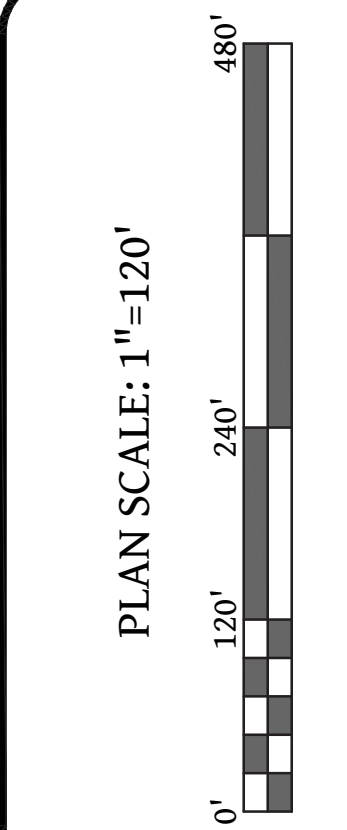
DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2020.09.30
11:59:28 -04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
LAYOUT OVERVIEW
PLAN OF LAND IN
MILLIS, MA

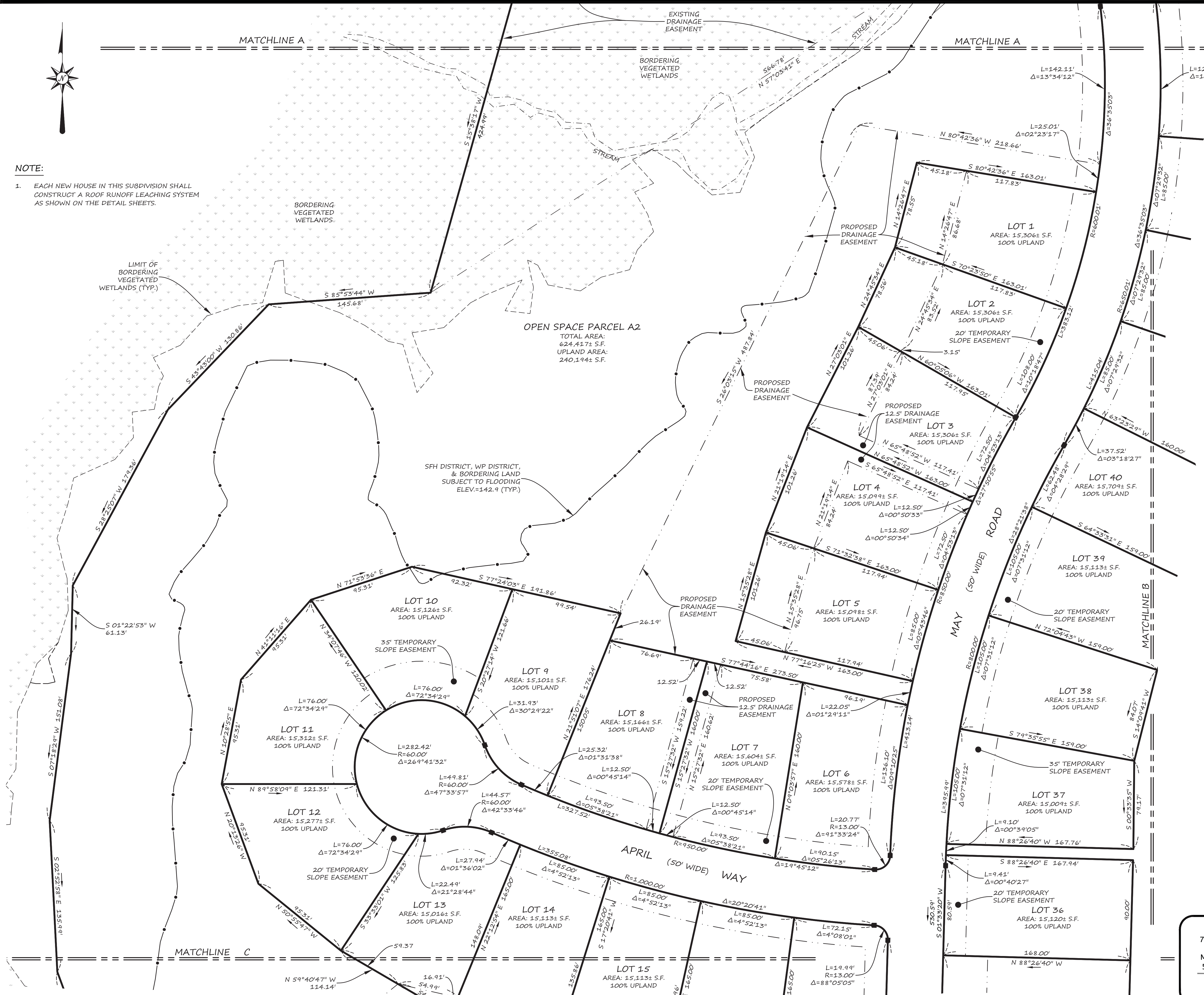
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-4





NOTE:

1. EACH NEW HOUSE IN THIS SUBDIVISION SHALL CONSTRUCT A ROOF RUNOFF LEACHING SYSTEM AS SHOWN ON THE DETAIL SHEETS.



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
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PROFESSIONAL LAND SURVEYOR

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I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-6

D69-03



LEGACY
ENGINEERING

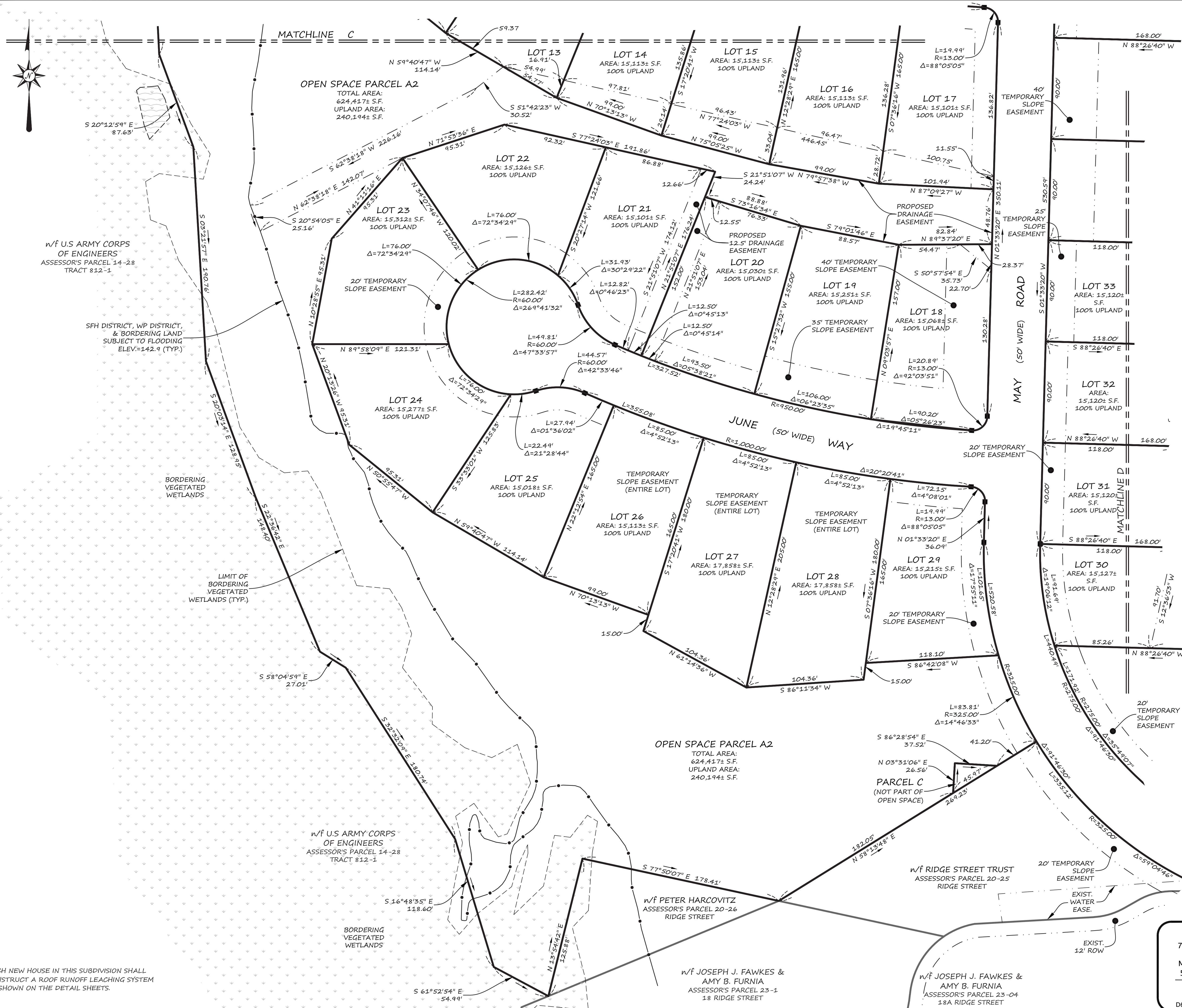
PLAN SCALE: 1"=40'



PLAN DATE: FEBRUARY 12, 2020

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
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STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
LAYOUT PLAN 2
OF LAND IN
MILLIS, MA



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
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WELLESLEY, MA 02481

20-25
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21 PRENTISS PLACE
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20-26, 20-28
PETER HARCOVITZ
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AND REGULATIONS OF THE REGISTERS OF
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CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO
THIS PLAN CONFORM TO THE TECHNICAL
STANDARDS FOR PROPERTY SURVEYS OF THE
AMERICAN CONGRESS ON SURVEYING AND
MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A
DECISION FILED WITH THE TOWN CLERK ON
JUNE 17, 2020, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY TD DEVELOPMENT, LLC ET AL.,
DATED _____, AND RECORDED IN
THE NORFOLK COUNTY REGISTRY OF DEEDS
SIMULTANEOUSLY HERewith. THE
REQUIREMENTS OF THE COVENANT RUN WITH
THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

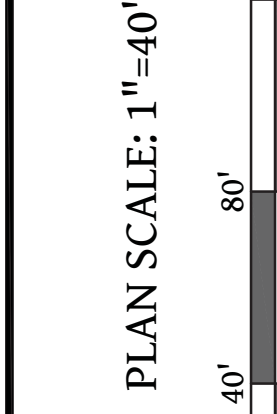
TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

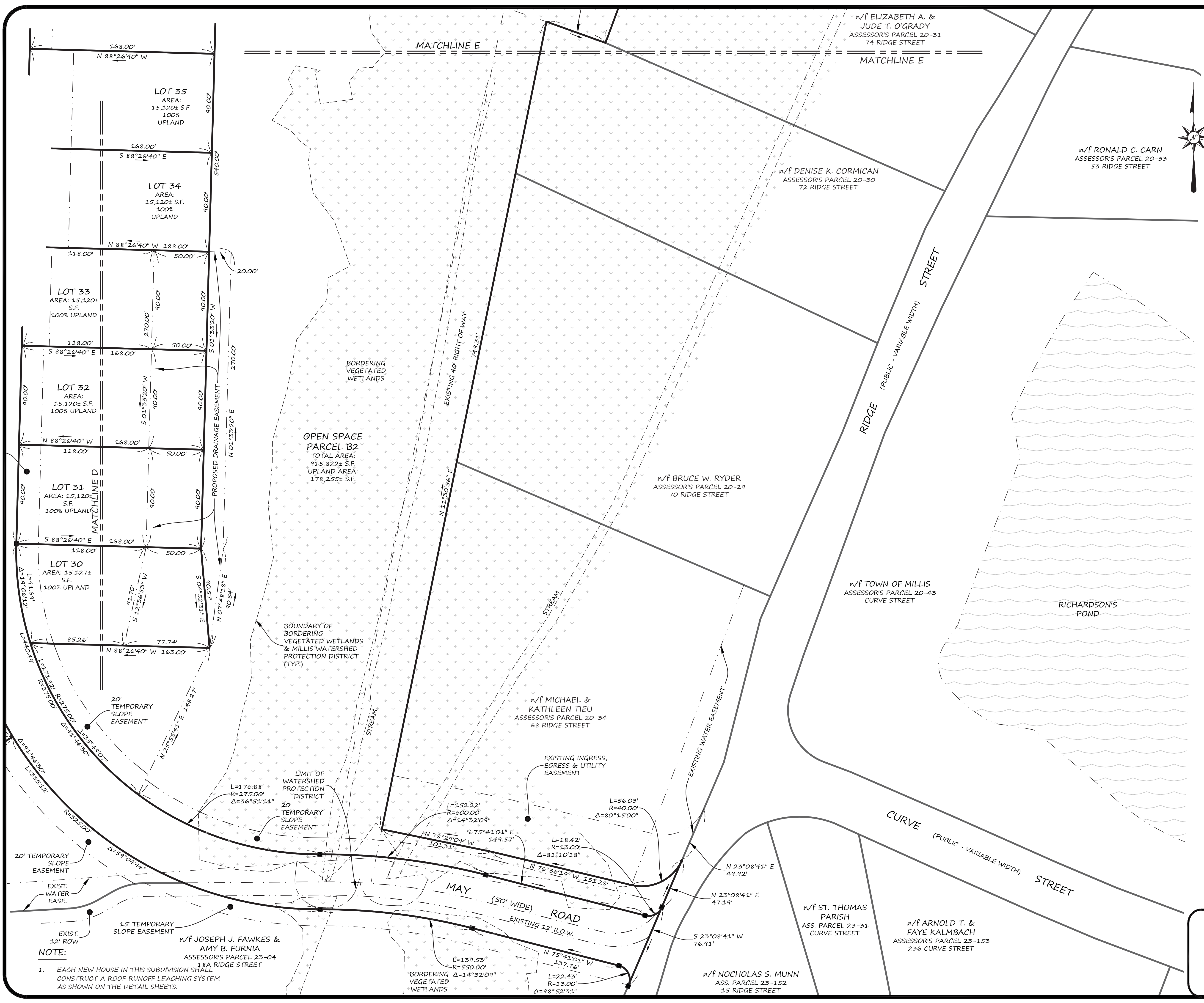
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-7



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
LAYOUT PLAN 3
OF LAND IN
MILLIS, MA

NOTE:
1. EACH NEW HOUSE IN THIS SUBDIVISION SHALL
CONSTRUCT A ROOF RUNOFF LEACHING SYSTEM
AS SHOWN ON THE DETAIL SHEETS.



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO
THIS PLAN CONFORM TO THE TECHNICAL
STANDARDS FOR PROPERTY SURVEYS OF THE
AMERICAN CONGRESS ON SURVEYING AND
MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

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DECISION FILED WITH THE TOWN CLERK ON
JUNE 17, 2020, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY TD DEVELOPMENT, LLC ET. AL.,
DATED _____, AND RECORDED IN
THE NORFOLK COUNTY REGISTRY OF DEEDS
SIMULTANEOUSLY HEREWITH. THE
REQUIREMENTS OF THE COVENANT RUN WITH
THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-8



LEGACY
ENGINEERING

D69-03

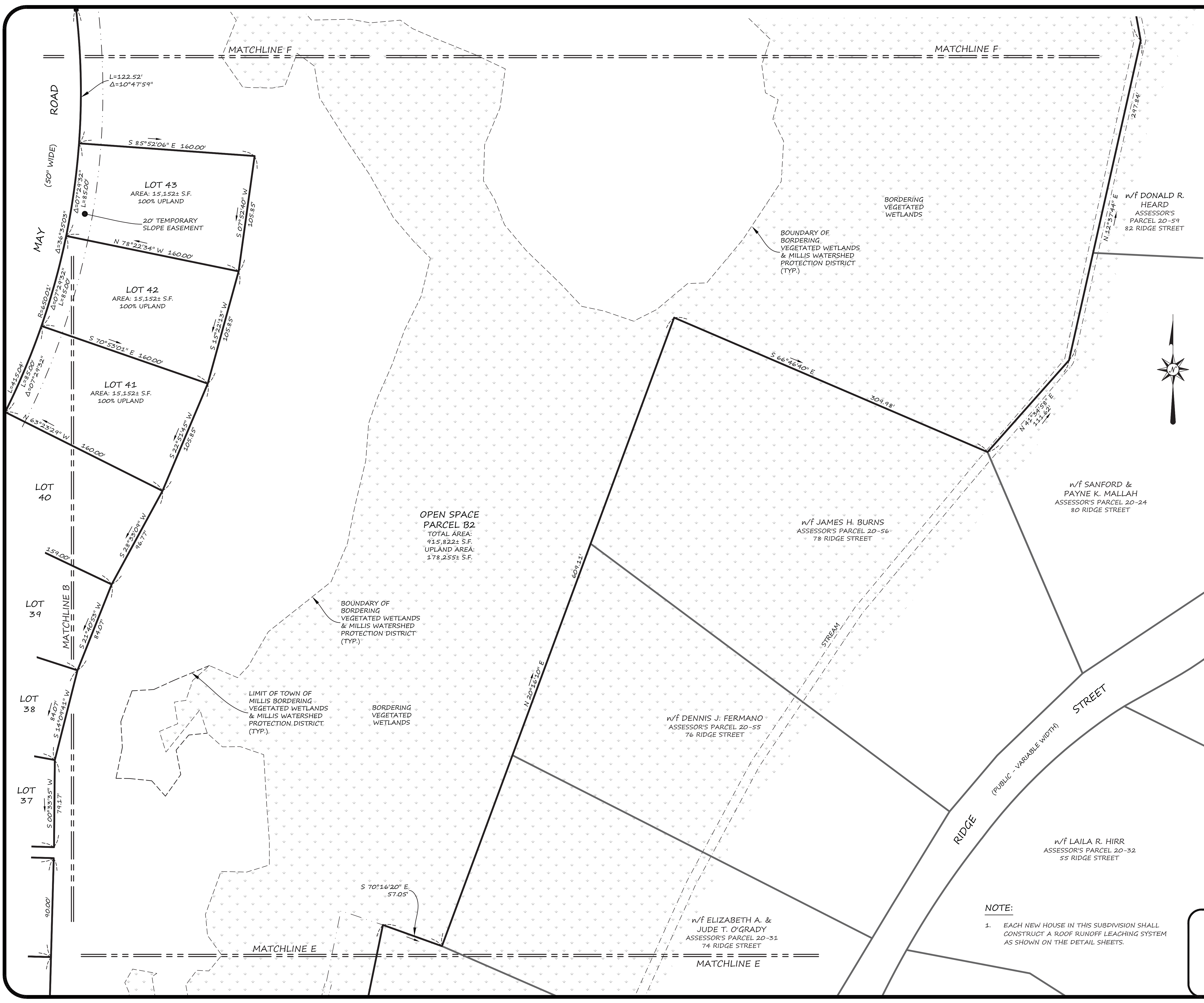
EMERSON PLACE
DEFINITIVE SUBDIVISION
LAYOUT PLAN 4
OF LAND IN
MILLIS, MA

PLAN DATE: FEBRUARY 12, 2020

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

PLAN SCALE: 1"=40'

0' 40' 80' 160'



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO THIS PLAN CONFORM TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

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I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

NOTE:

1. EACH NEW HOUSE IN THIS SUBDIVISION SHALL CONSTRUCT A ROOF RUNOFF LEACHING SYSTEM AS SHOWN ON THE DETAIL SHEETS.

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-9



LEGACY
ENGINEERING

D69-03

PLAN DATE: FEBRUARY 12, 2020

EMERSON PLACE
DEFINITIVE SUBDIVISION
LAYOUT PLAN 5
OF LAND IN
MILLIS, MA

PLAN SCALE: 1"=40'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PROFESSIONAL LAND SURVEYOR

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TOWN CLERK _____ DATE _____

DATE APPROVED: _____

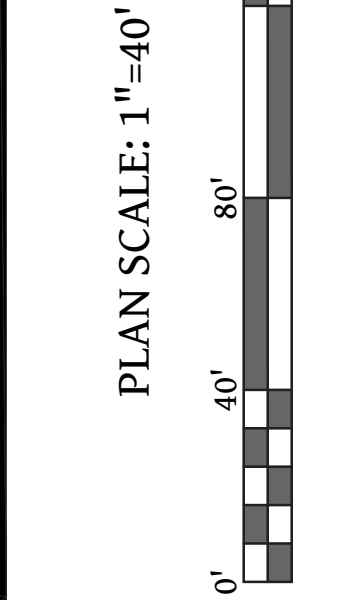
DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-10

LEGACY
ENGINEERING

D69-03

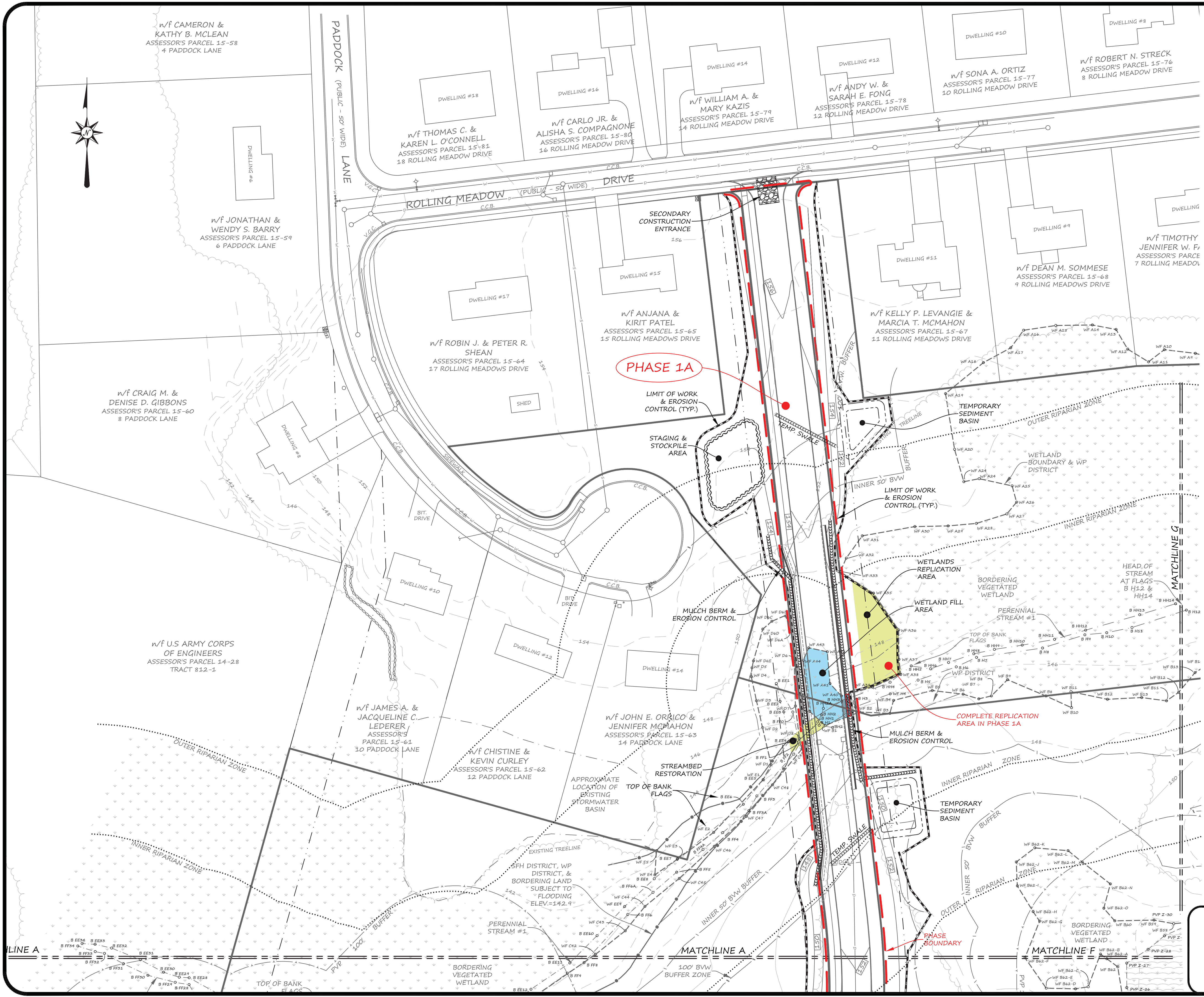


PLAN DATE: FEBRUARY 12, 2020		REVISION		DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM			
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM			
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM			
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM			
STREAM #1 STATUS NOTES	2020-09-14	DJM			
STREAM #1 STATUS NOTES	2020-09-28	DJM			

EMERSON PLACE
DEFINITIVE SUBDIVISION
LAYOUT PLAN 6
OF LAND IN
MILLIS, MA

NOTE:

1. EACH NEW HOUSE IN THIS SUBDIVISION SHALL CONSTRUCT A ROOF RUNOFF LEACHING SYSTEM AS SHOWN ON THE DETAIL SHEETS.



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJK LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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AND REGULATIONS OF THE REGISTERS OF
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MASSACHUSETTS.

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PROFESSIONAL LAND SURVEYOR

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THE NORFOLK COUNTY REGISTRY OF DEEDS
SIMULTANEOUSLY HERewith. THE
REQUIREMENTS OF THE COVENANT RUN WITH
THE LAND.

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THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



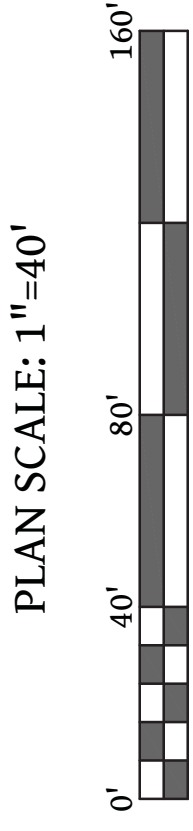
LEGACY
ENGINEERING

C-11

D69-03



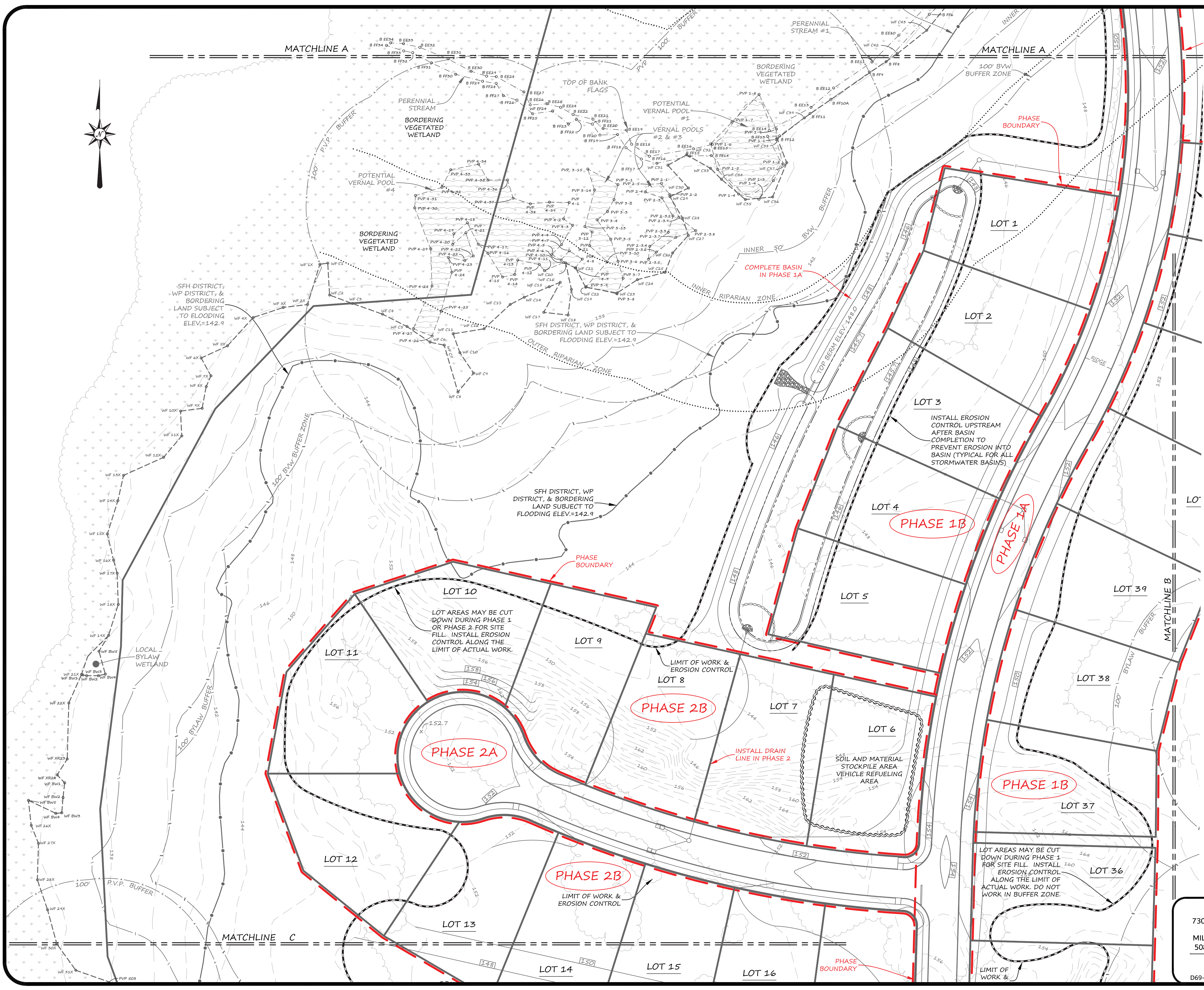
Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2020.09.30
12:00:19 -04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

PLAN DATE: FEBRUARY 12, 2020

EMERSON PLACE
DEFINITIVE SUBDIVISION
EROSION & PHASING PLAN 1
OF LAND IN
MILLIS, MA



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJK LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PROFESSIONAL LAND SURVEYOR

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I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

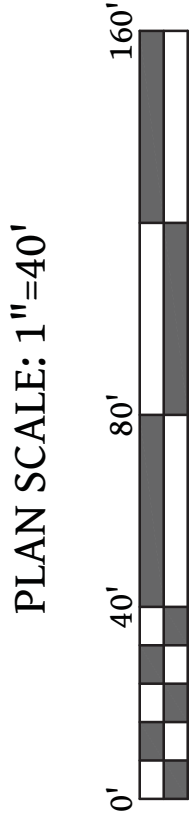
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-12

D69-03



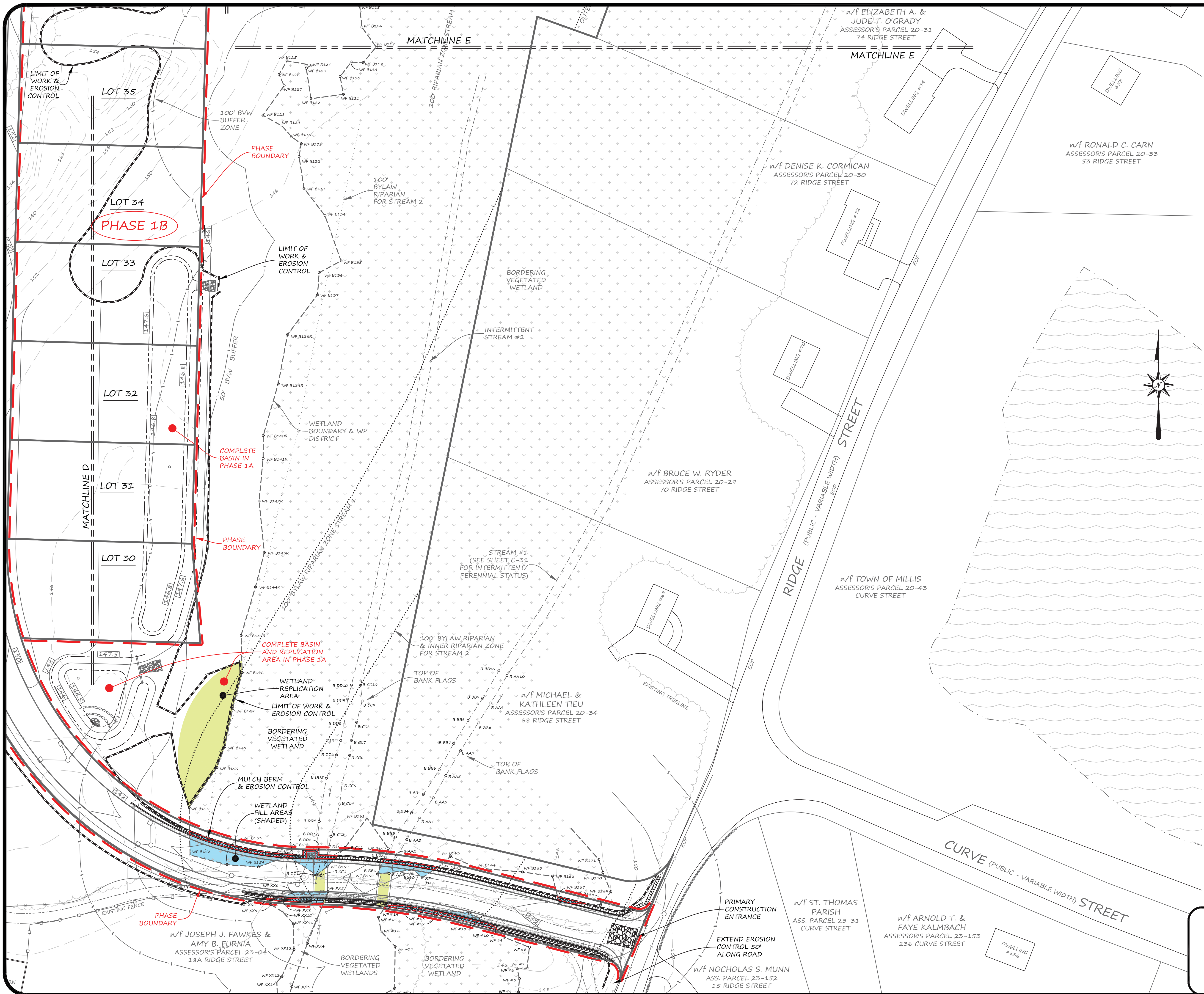
Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:01:51 -04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
EROSION & PHASING PLAN 2
OF LAND IN
MILLIS, MA

PLAN DATE: FEBRUARY 12, 2020



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PROFESSIONAL LAND SURVEYOR

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I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-14



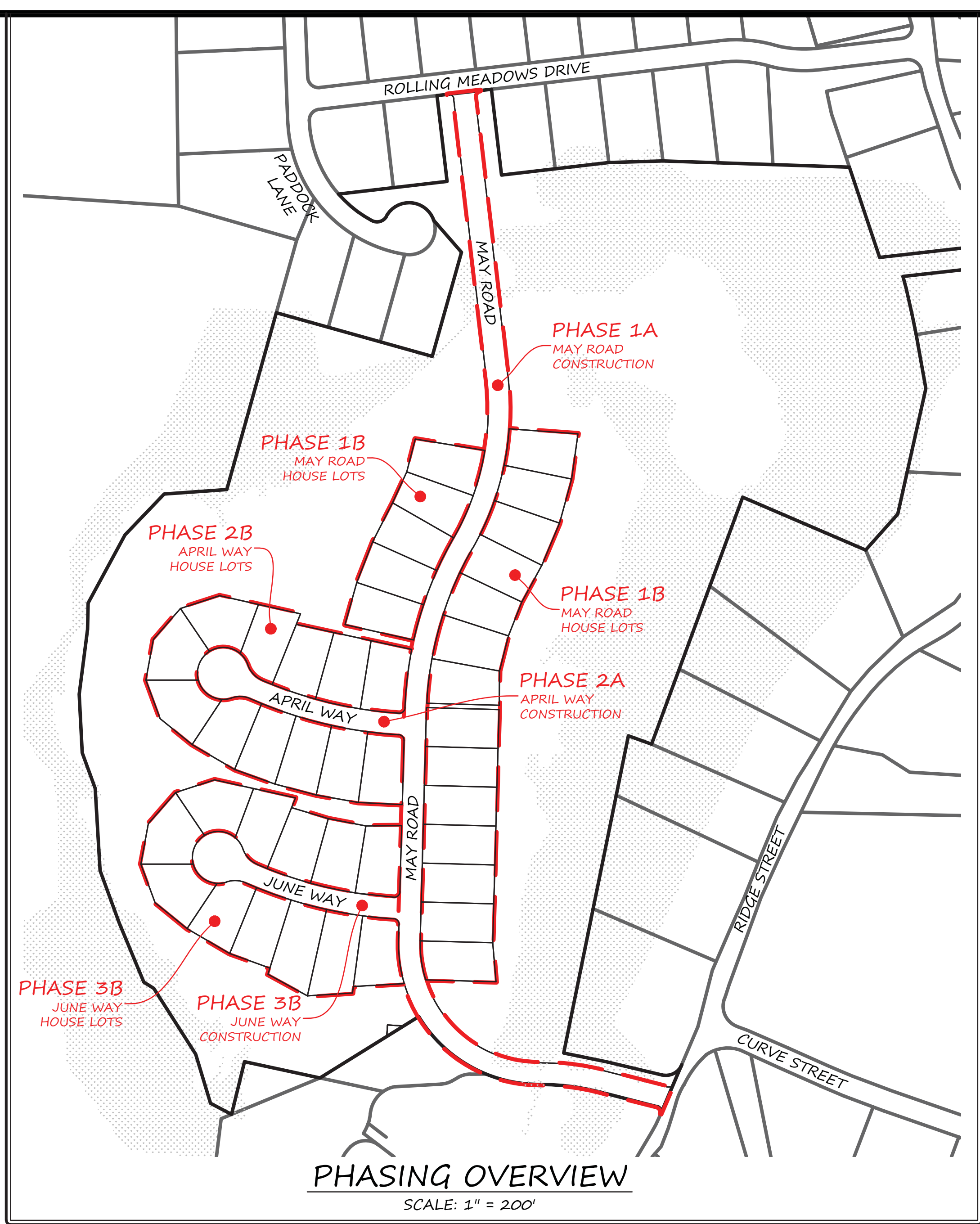
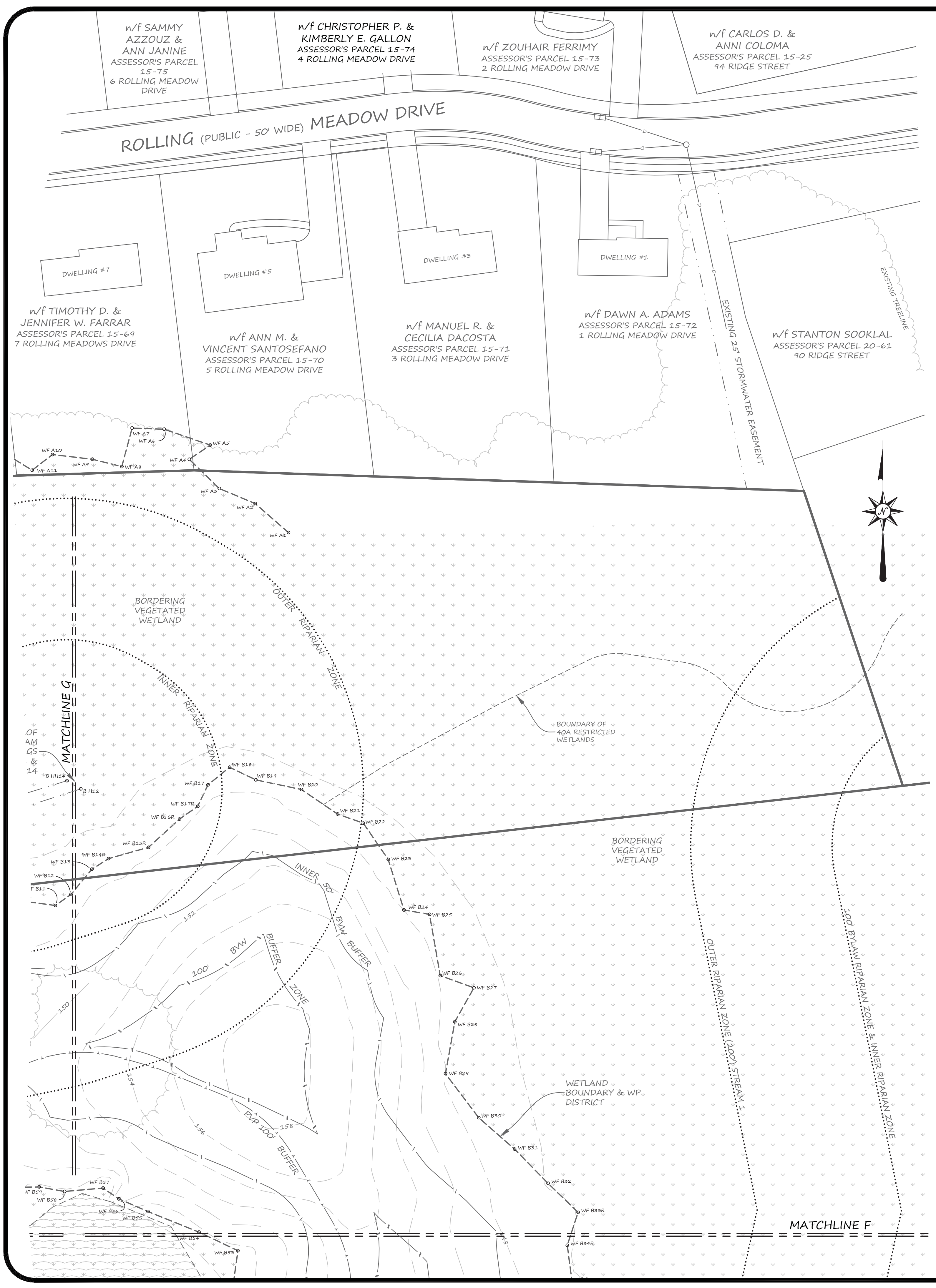
Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:03:10 -04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

PLAN DATE: FEBRUARY 12, 2020

EMERSON PLACE
DEFINITIVE SUBDIVISION
EROSION & PHASING PLAN 4
OF LAND IN
MILLIS, MA



GENERAL EROSION & SEDIMENT CONTROL NOTES:

1. WETLANDS BOUNDARIES WERE DELINEATED BY GODDARD CONSULTING.
2. THE DISCHARGE OF SEDIMENT OUTSIDE OF THE LIMIT OF WORK IS PROHIBITED. SHOULD THE SPECIFIED EROSION CONTROLS BE FOUND TO BE INADEQUATE, THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NEEDED INCLUDING ADDITIONAL ROWS OF PERIMETER CONTROLS, INSTALLATION OF DIVERSION BERMS AND THE INSTALLATION OF TEMPORARY SEDIMENT BASINS AT ADDITIONAL LOCATIONS.
3. EROSION CONTROLS, CONSTRUCTION ENTRANCES, AND TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. TREE CLEARING MAY COMMENCE IN AREAS OUTSIDE THE 50' BUFFER ZONE PRIOR TO EROSION CONTROL INSTALLATION BUT GRUBBING AND STUMP REMOVAL MAY NOT OCCUR UNTIL EROSION CONTROLS ARE INSTALLED.
4. EROSION CONTROLS AND CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN GOOD CONDITION UNTIL UPSLOPE AREAS ARE FULLY STABILIZED.
5. DOWNSTREAM AND NEARBY CATCH BASINS SHALL BE PROTECTED WITH SILTSACS UNTIL UPSTREAM AREAS ARE FULLY STABILIZED (INCLUDING NEWLY INSTALLED CATCH BASINS).
6. ADJACENT ROADS SHALL BE MAINTAINED IN A CLEAN CONDITION AND SHALL BE SWEEPED AS NEEDED.
7. EXCEPT FOR HOUSE CONSTRUCTION, SHOULD ANY STORMWATER BASIN BE USED AS A TEMPORARY CONSTRUCTION-STAGE SEDIMENT BASIN, LEAVE BOTTOM 6" ABOVE FINISHED GRADE UNTIL TRIBUTARY AREA CONSTRUCTION IS COMPLETELY STABILIZED.
8. INSTALL EROSION CONTROLS ALONG THE DOWNSTREAM SIDE OF STOCKPILES.
9. WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE DAYS, TEMPORARY SOIL STABILIZATION MEASURES ARE TO BE EMPLOYED.

HOUSE CONSTRUCTION (PHASE B) EROSION & SEDIMENT CONTROL NOTES:

1. LOTS MAY BE CLEARED BEFORE EROSION CONTROLS ARE INSTALLED BUT GRUBBING AND STUMP REMOVAL MAY NOT OCCUR UNTIL EROSION CONTROLS ARE INSTALLED.
2. FOR INDIVIDUAL LOTS OR GROUPS OF LOTS, EROSION CONTROLS SHALL BE INSTALLED ALONG ALL DOWNSTREAM LIMITS OF WORK. WHERE GROUPS OF LOTS ARE CONSTRUCTED CONTEMPORANEOUSLY, PERIMETER CONTROLS MAY ENCOMPASS THE TOTAL WORK AREA.
3. DOWNSTREAM AND NEARBY CATCH BASINS SHALL BE PROTECTED WITH SILTSACS UNTIL UPSTREAM AREAS ARE FULLY STABILIZED (INCLUDING NEWLY INSTALLED CATCH BASINS).
4. A CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT EVERY LOT DEVELOPMENT.
5. ADJACENT ROADS SHALL BE KEPT CLEAN AND SWEEPED REGULARLY.
6. LOTS SHALL BE LOAMED AND SEEDED AS SOON AS PRACTICABLE.

ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
G&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

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I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

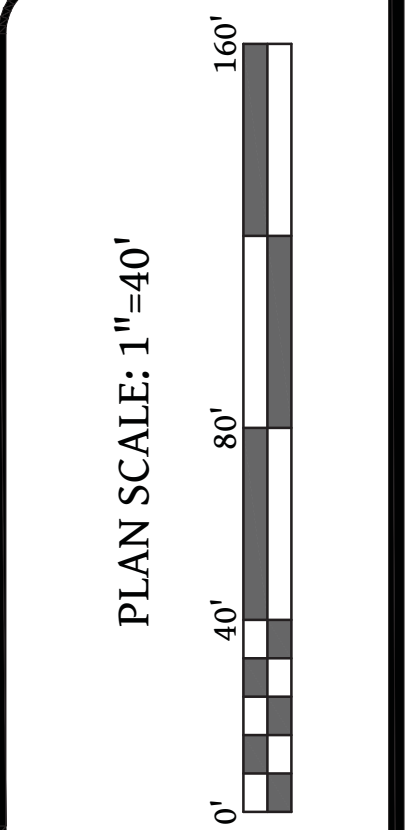
TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-16



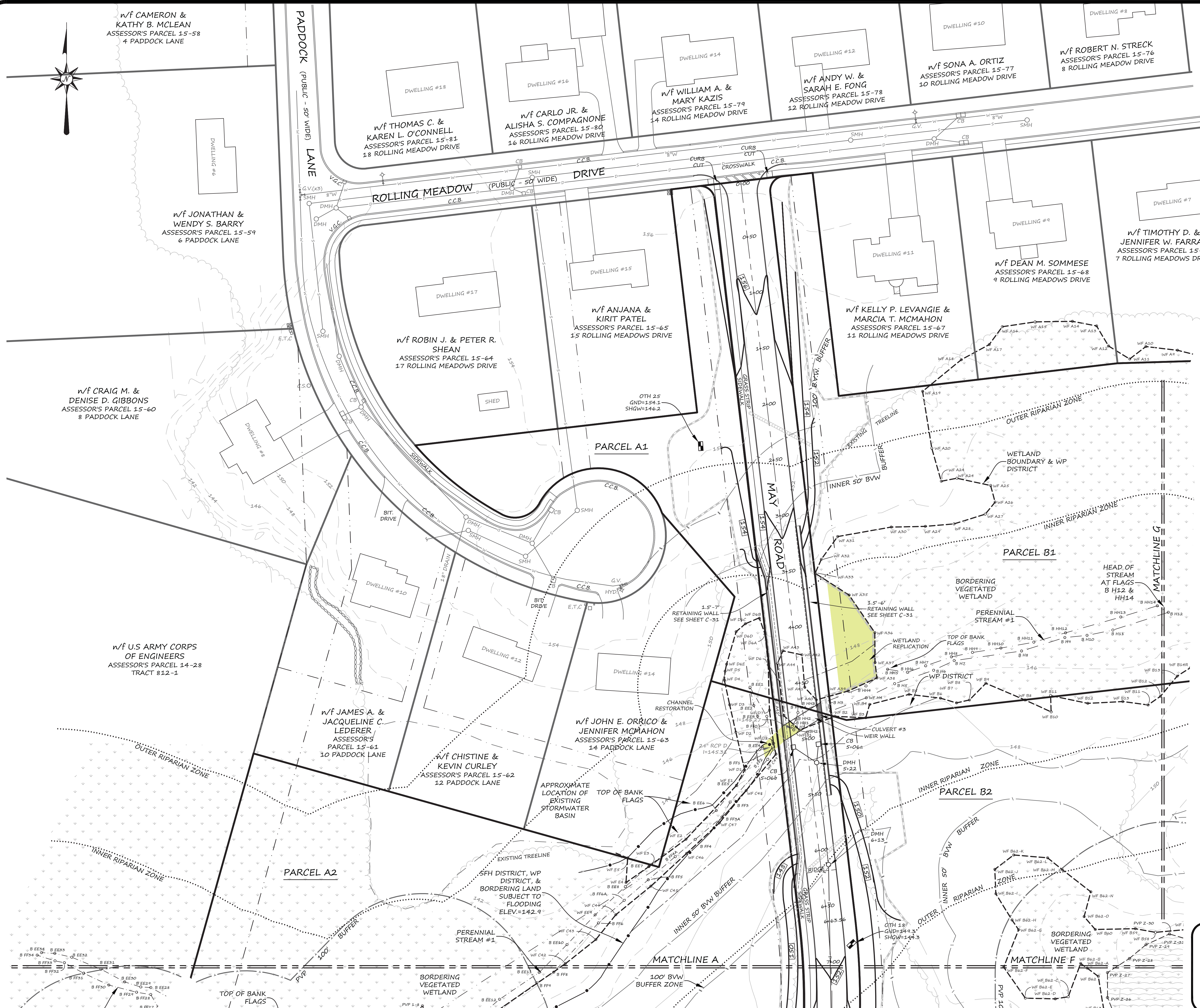
COMMONWEALTH OF MASSACHUSETTS
DANIEL J. MERRIKIN
CIVIL
No. 43309
REGISTERED
PROFESSIONAL ENGINEER

Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:06:43 -04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
EROSION & PHASING PLAN 6
OF LAND IN
MILLIS, MA



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
G&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO THIS PLAN CONFORM TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

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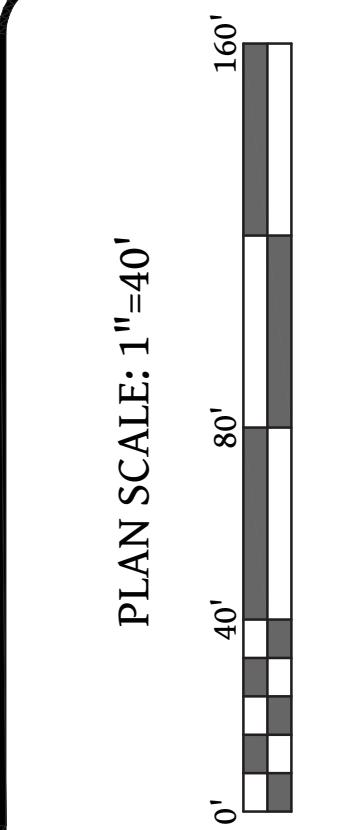
TOWN CLERK _____ DATE _____
DATE APPROVED: _____
DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-17

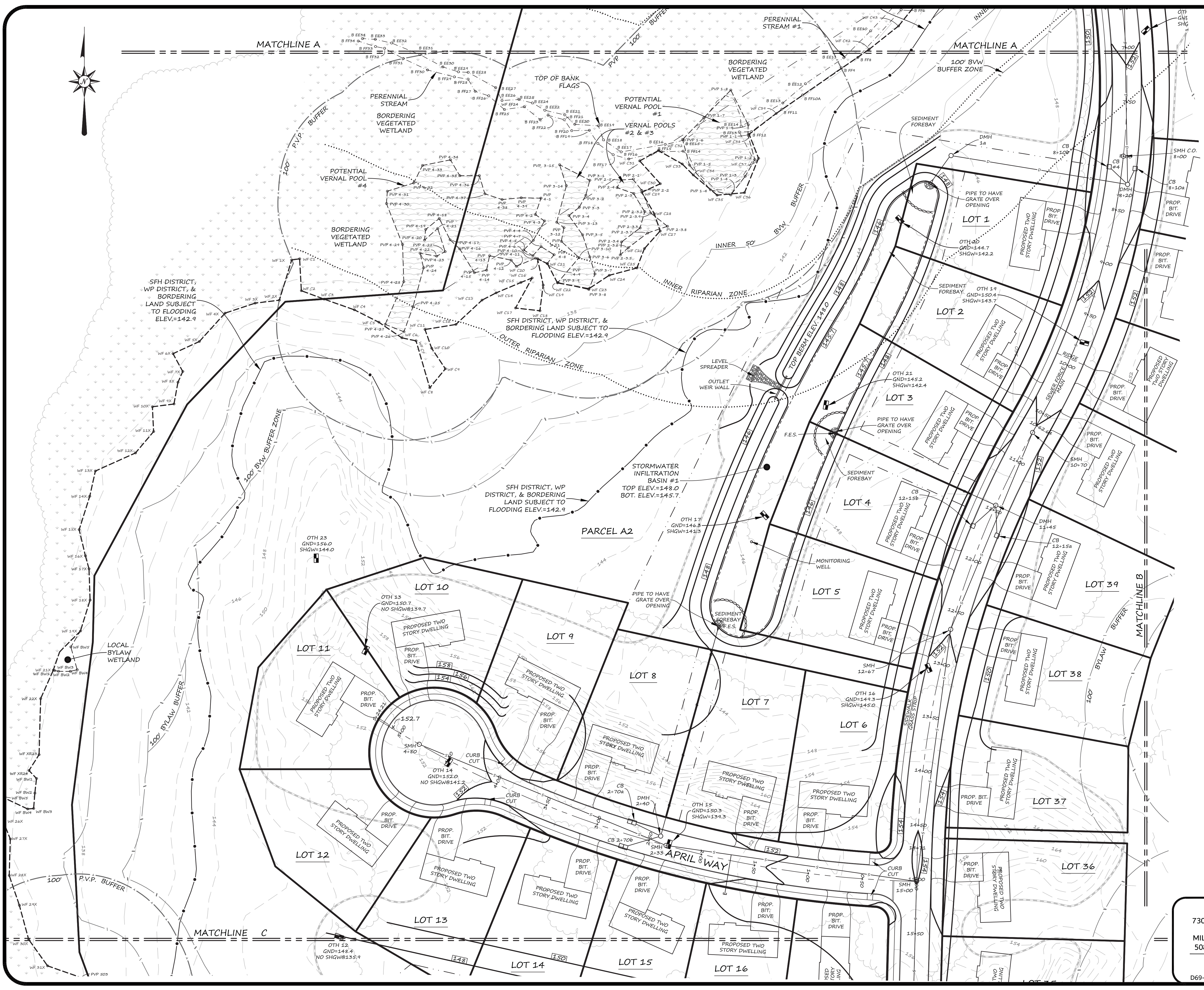


Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:07:23 -04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-06-11	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
GRADING PLAN 1
OF LAND IN
MILLIS, MA



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
G&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PROFESSIONAL LAND SURVEYOR

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TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

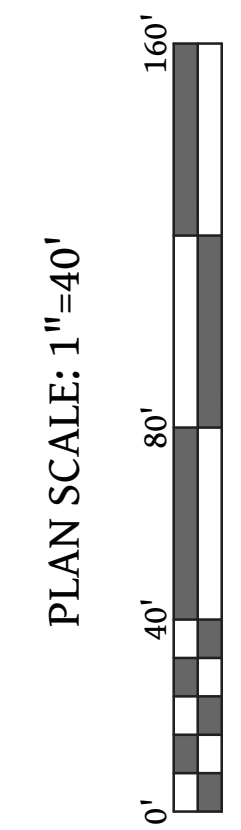
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-18

D69-03



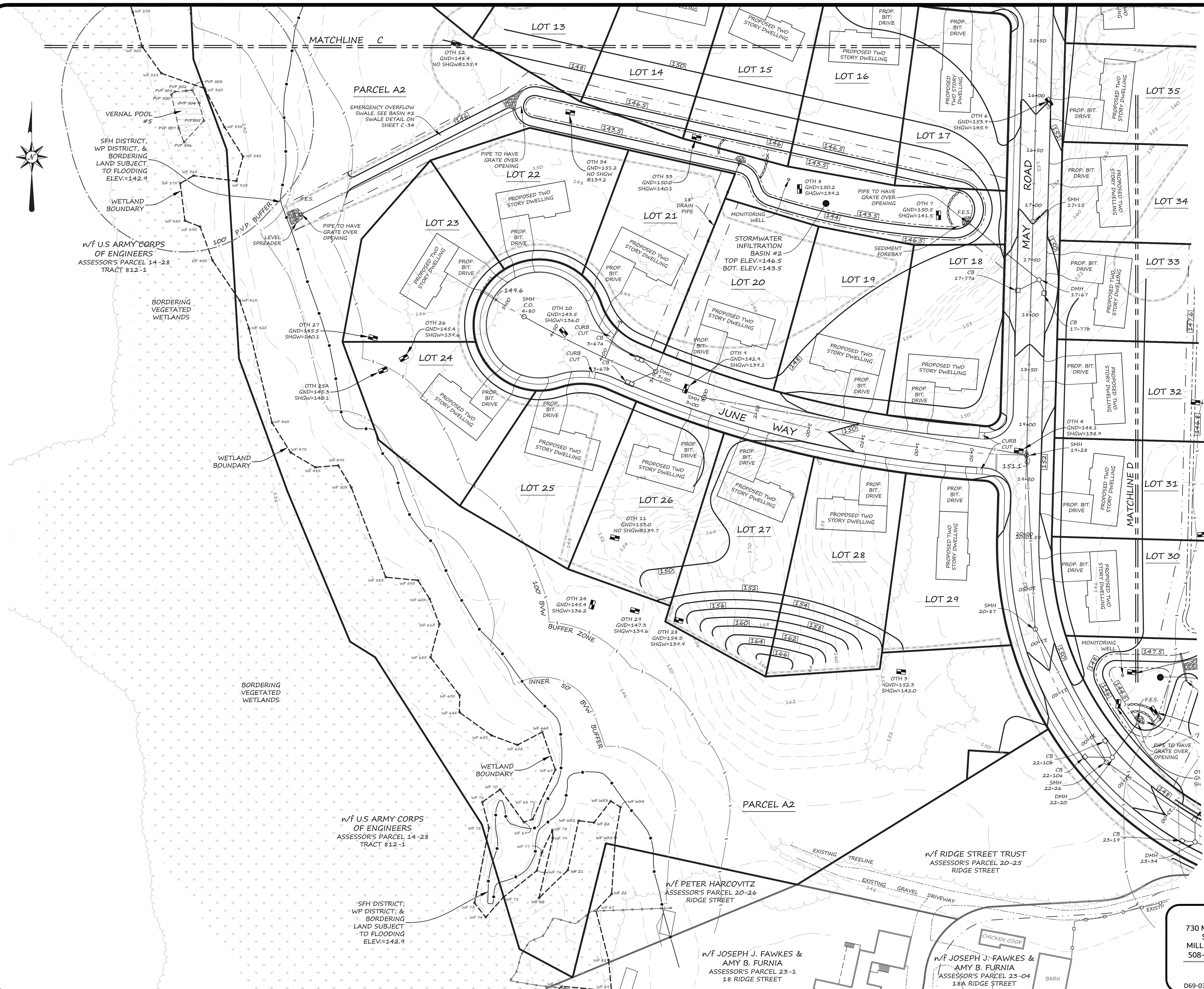
Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:08:39 -04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-06-11	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
GRADING PLAN 2
OF LAND IN
MILLIS, MA

PLAN DATE: FEBRUARY 12, 2020



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
G&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

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PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO
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STANDARDS FOR PROPERTY SURVEYS OF THE
AMERICAN CONGRESS ON SURVEYING AND
MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

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DECISION FILED WITH THE TOWN CLERK ON
JUNE 17, 2020, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY TD DEVELOPMENT, LLC ET AL.,
DATED _____ AND RECORDED IN
THE NORFOLK COUNTY REGISTRY OF DEEDS
SIMULTANEOUSLY HERewith. THE
REQUIREMENTS OF THE COVENANT RUN WITH
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THE PLANNING BOARD APPROVAL AND NO
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TOWN CLERK _____ DATE _____

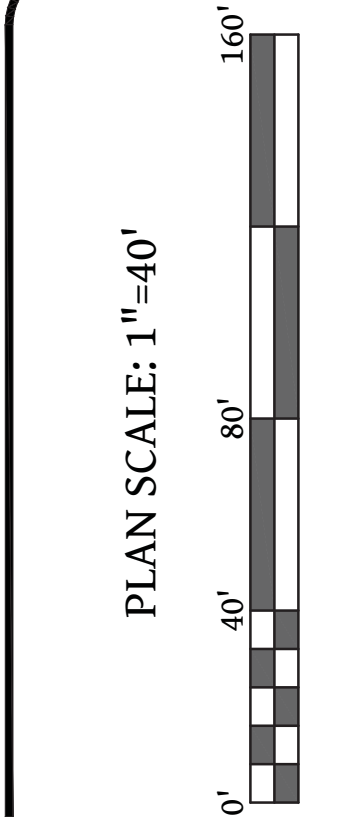
DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2020.09.30 12:09:50
04'00"

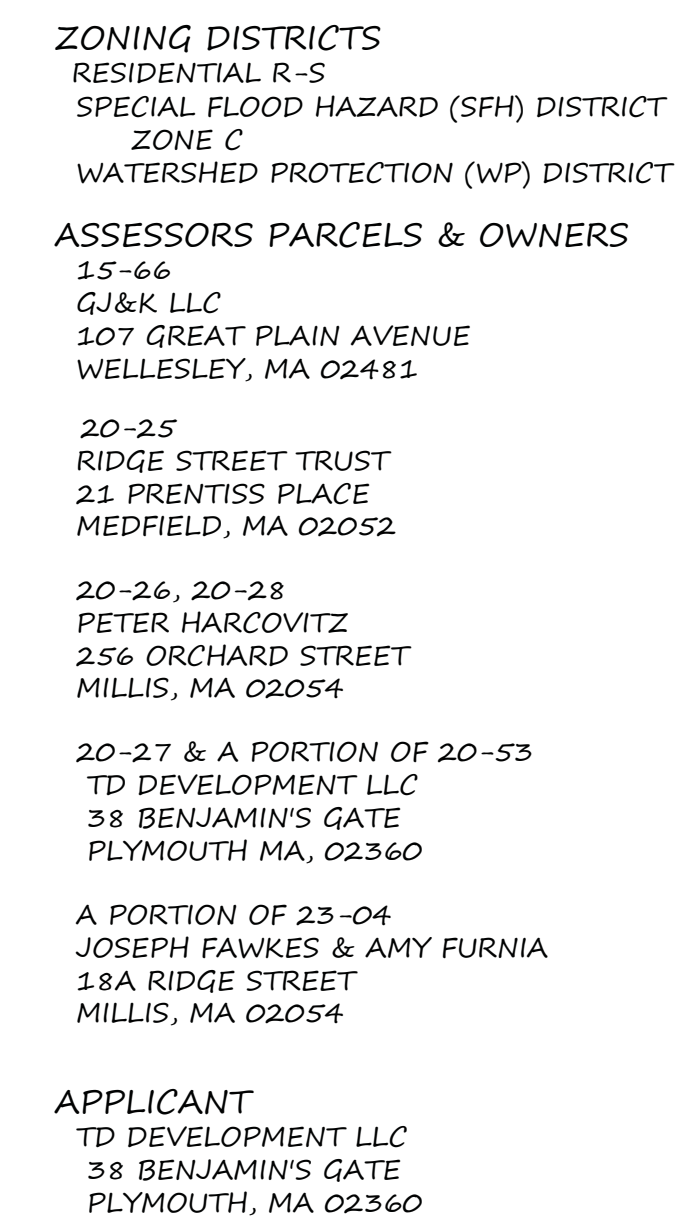


REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
GRADING PLAN 3
OF LAND IN
MILLIS, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-19





ZONING DISTRICTS
RESIDENTIAL R-5
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PROFESSIONAL LAND SURVEYOR

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CONDITIONS SET FORTH IN A COVENANT
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REQUIREMENTS OF THE COVENANT RUN WITH
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TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD


TABLE 1. *Continued*

MAIN STREET

S, MA 02054

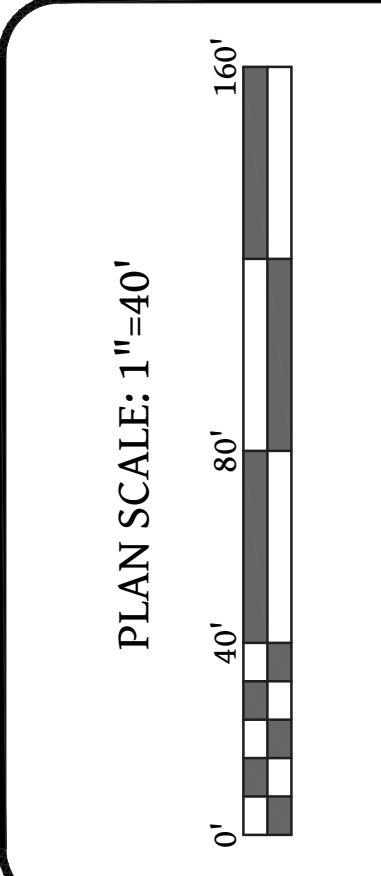
376-8883(o) ENGIC-21  ENSI

0111



Commonwealth of Massachusetts
 DANIEL J. MERRIKIN
 CIVIL
 No. 43309
 REGISTERED
 PROFESSIONAL ENGINEER

Digitally signed by Daniel J. Merrikin, P.E.
 Date: 2020.09.30 12:13:36 -04'00'



PLAN DATE: FEBRUARY 12, 2020			DATE	BY
REVISIONS PER TOWN COMMENTS			2020-05-20	DJM
REVISIONS PER TOWN COMMENTS			2020-06-05	DJM
REVISIONS PER TOWN COMMENTS			2020-08-05	DJM
REVISIONS PER TOWN COMMENTS			2020-08-31	DJM
REVISIONS PER TOWN COMMENTS			2020-09-14	DJM
STREAM #1 STATUS NOTES			2020-09-14	DJM
STREAM #1 STATUS NOTES			2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
GRADING PLAN 5
OF LAND IN
MILLIS, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-21



D69-03



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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MASSACHUSETTS.

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COMMONWEALTH OF MASSACHUSETTS.

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AMERICAN CONGRESS ON SURVEYING AND
MAPPING.

PROFESSIONAL LAND SURVEYOR

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EXECUTED BY TD DEVELOPMENT, LLC ET AL.,
DATED _____ AND RECORDED IN
THE NORFOLK COUNTY REGISTRY OF DEEDS
SIMULTANEOUSLY HEREWITH. THE
REQUIREMENTS OF THE COVENANT RUN WITH
THE LAND.

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THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-22



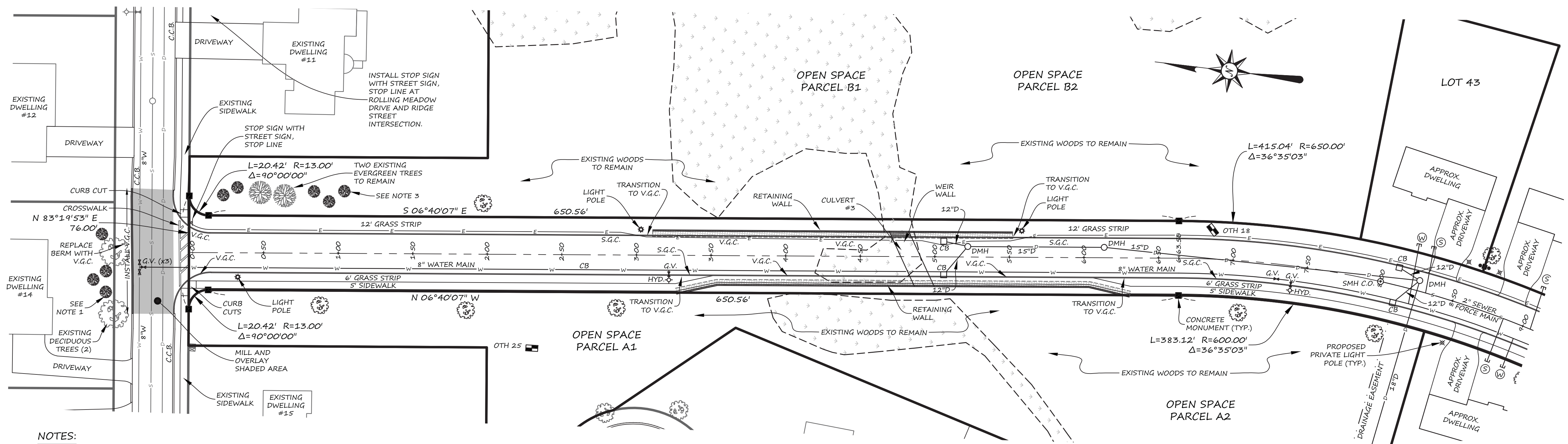
Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2020.09.30 12:14:11
-04'00'



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
GRADING PLAN 6
OF LAND IN
MILLIS, MA

PLAN DATE: FEBRUARY 12, 2020

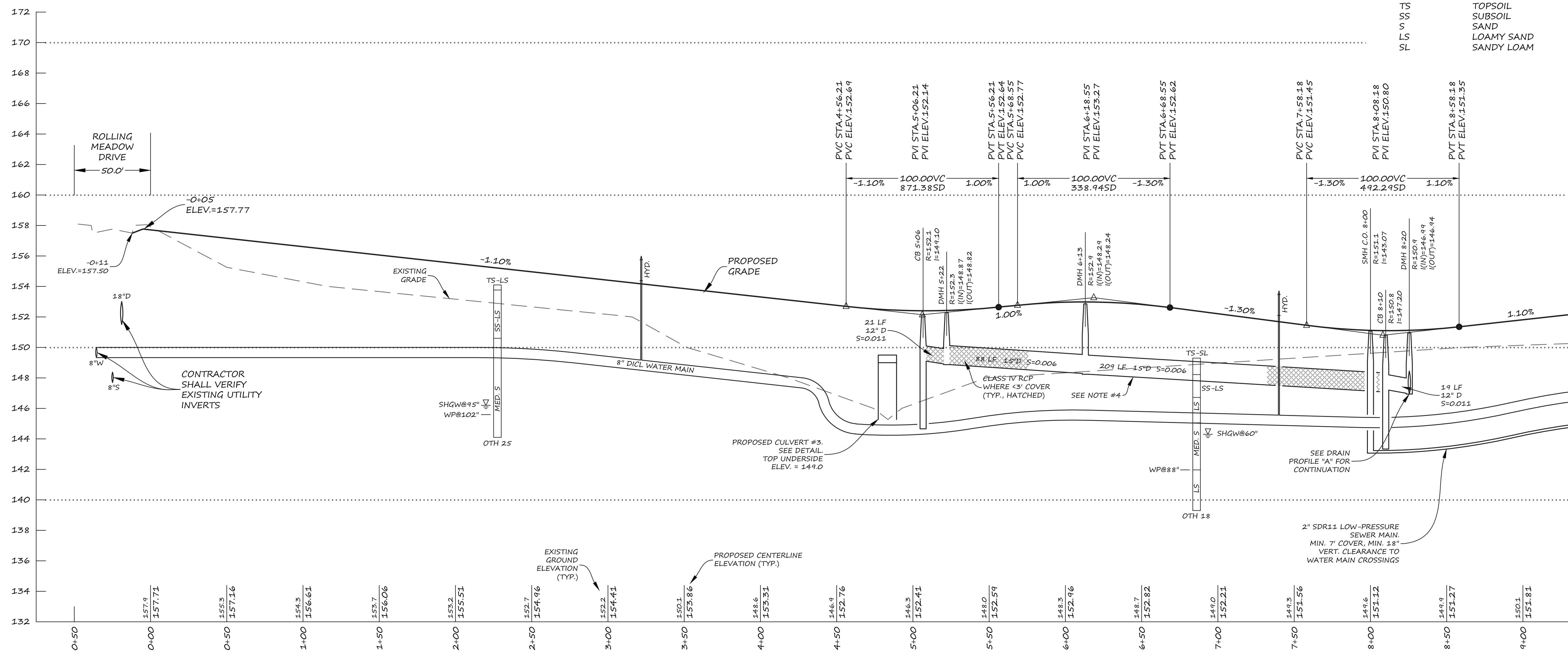


NOTES:

1. INSTALL FOUR 6'-8" THUJA PLICATA (GREEN GIANT ARBORVITAE) ON NEIGHBOR'S LAND IF THEY ALLOW IT. LOCATIONS MAY VARY TO OBSTRUCT VIEW.
2. STREET LIGHT LOCATIONS AT EITHER END OF MAY ROAD SHALL BE CONFIRMED IN THE FIELD WITH THE MILLIS DPW.
3. INSTALL FIVE 6'-8" THUJA PLICATA (GREEN GIANT ARBORVITAE). LOCATIONS MAY VARY TO OBSTRUCT VIEW.
4. PROTECT DRAIN PIPES DURING CONSTRUCTION WHERE COVER IS LESS THAN 4.5'

MAY ROAD PLAN VIEW - STATION 0+00 TO 9+20

SCALE: 1" = 40'



MAY ROAD PROFILE - STATION 0+00 TO 9+20

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL

PROFILE LEGEND

ABBREV.	DESCRIPTION
M-XX"	REDOX (MOTTLES) AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEEPING WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM

ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MIDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT

TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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PROFESSIONAL LAND SURVEYOR

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TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-23



LEGACY
ENGINEERING



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:18:06
04'00'

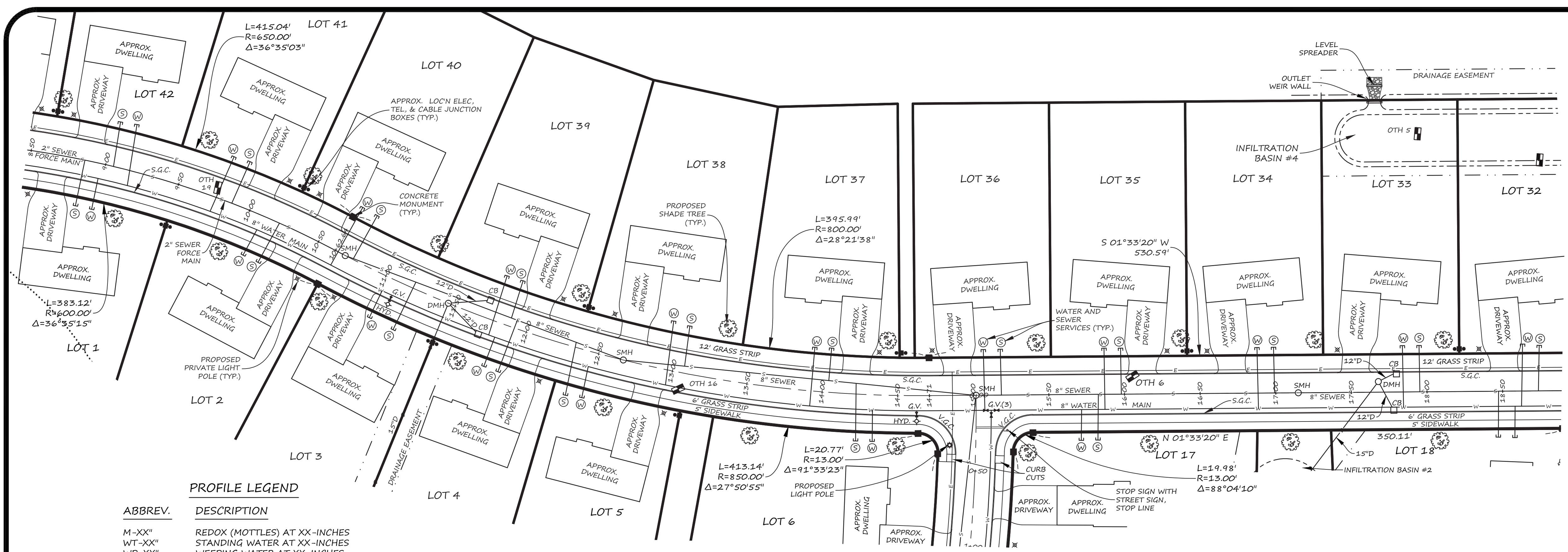
PLAN SCALE: 1"=40'



PLAN DATE: FEBRUARY 12, 2020

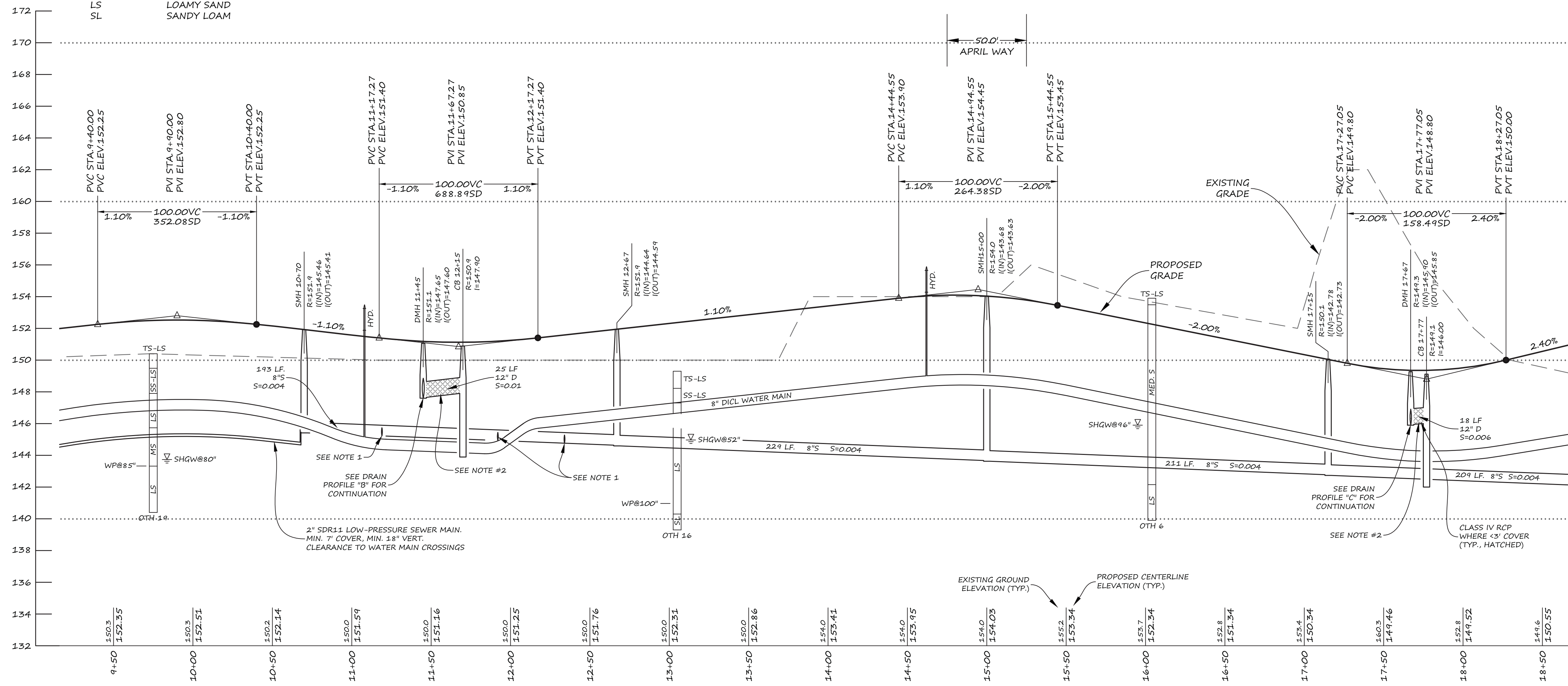
REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-06-30	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
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STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
MAY ROAD PROFILE PLAN 1
OF LAND IN
MILLIS, MA



PROFILE LEGEND

ABBREV.	DESCRIPTION
M-XX"	REDOX (MOTTLES) AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEeping WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM



MAY ROAD PROFILE - STATION 9+20 TO 18+65

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
G&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
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MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
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PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
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MILLIS, MA 02054

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TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE RULES
AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
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AMERICAN CONGRESS ON SURVEYING AND
MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

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DECISION FILED WITH THE TOWN CLERK ON
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DATED _____, AND RECORDED IN
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SIMULTANEOUSLY HEREWITH. THE
REQUIREMENTS OF THE COVENANT RUN WITH
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I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

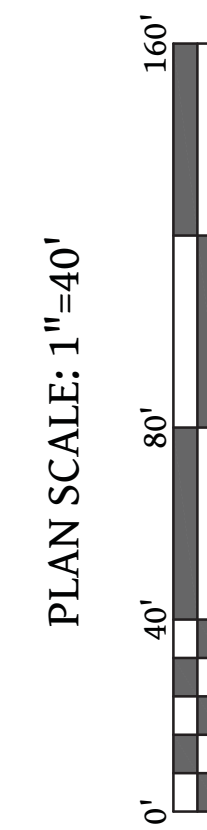
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-24



LEGACY
ENGINEERING



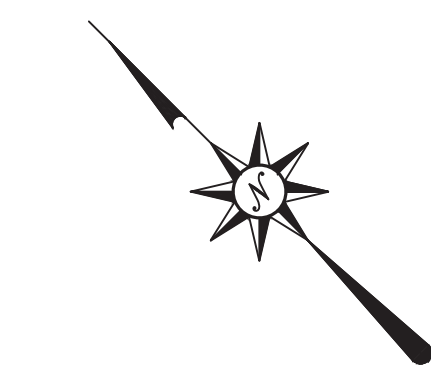
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Merrikin, P.E.
Date: 2020.09.30 12:20:07
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PLAN DATE: FEBRUARY 12, 2020

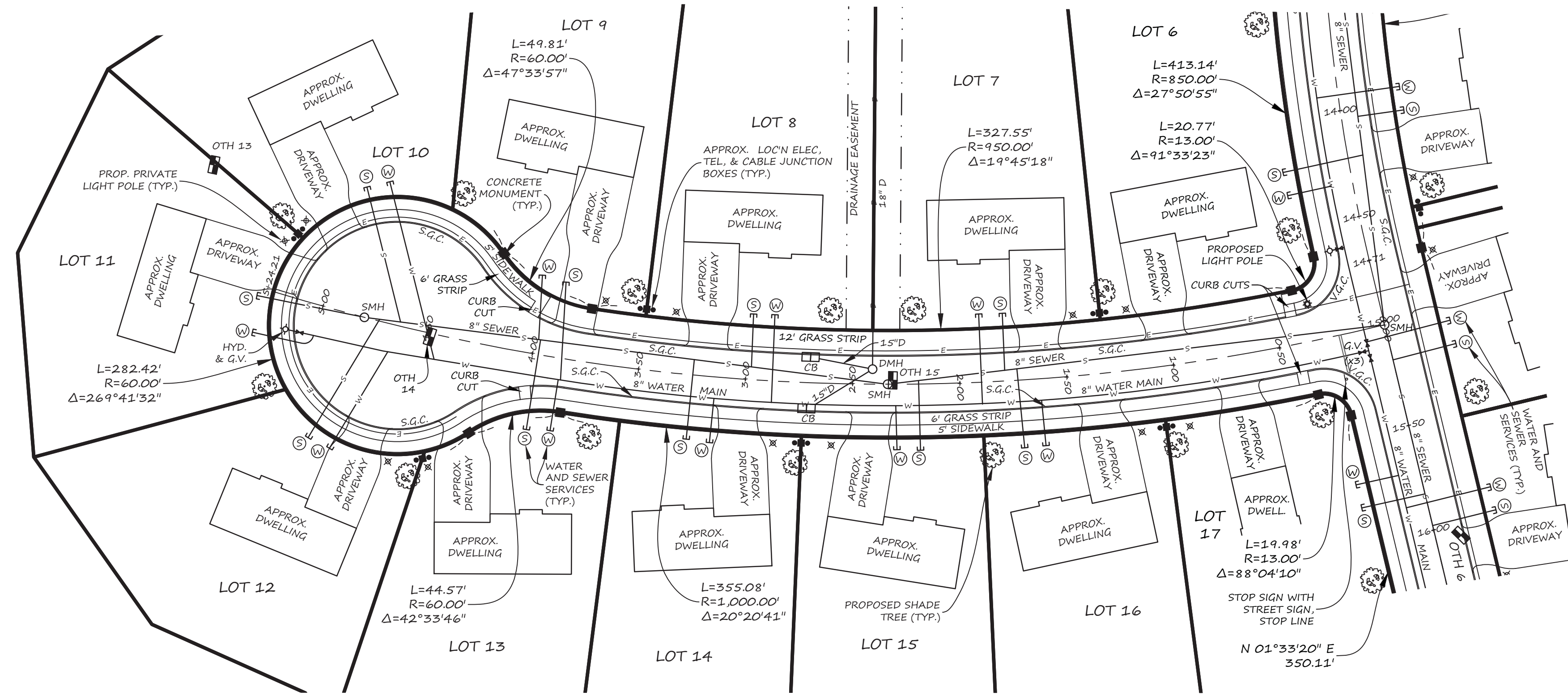
REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
MAY ROAD PROFILE PLAN 2
OF LAND IN
MILLIS, MA



EMERSON PLACE
DEFINITIVE SUBDIVISION
MAY ROAD PROFILE PLAN 3
OF LAND IN
MILLIS, MA

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL

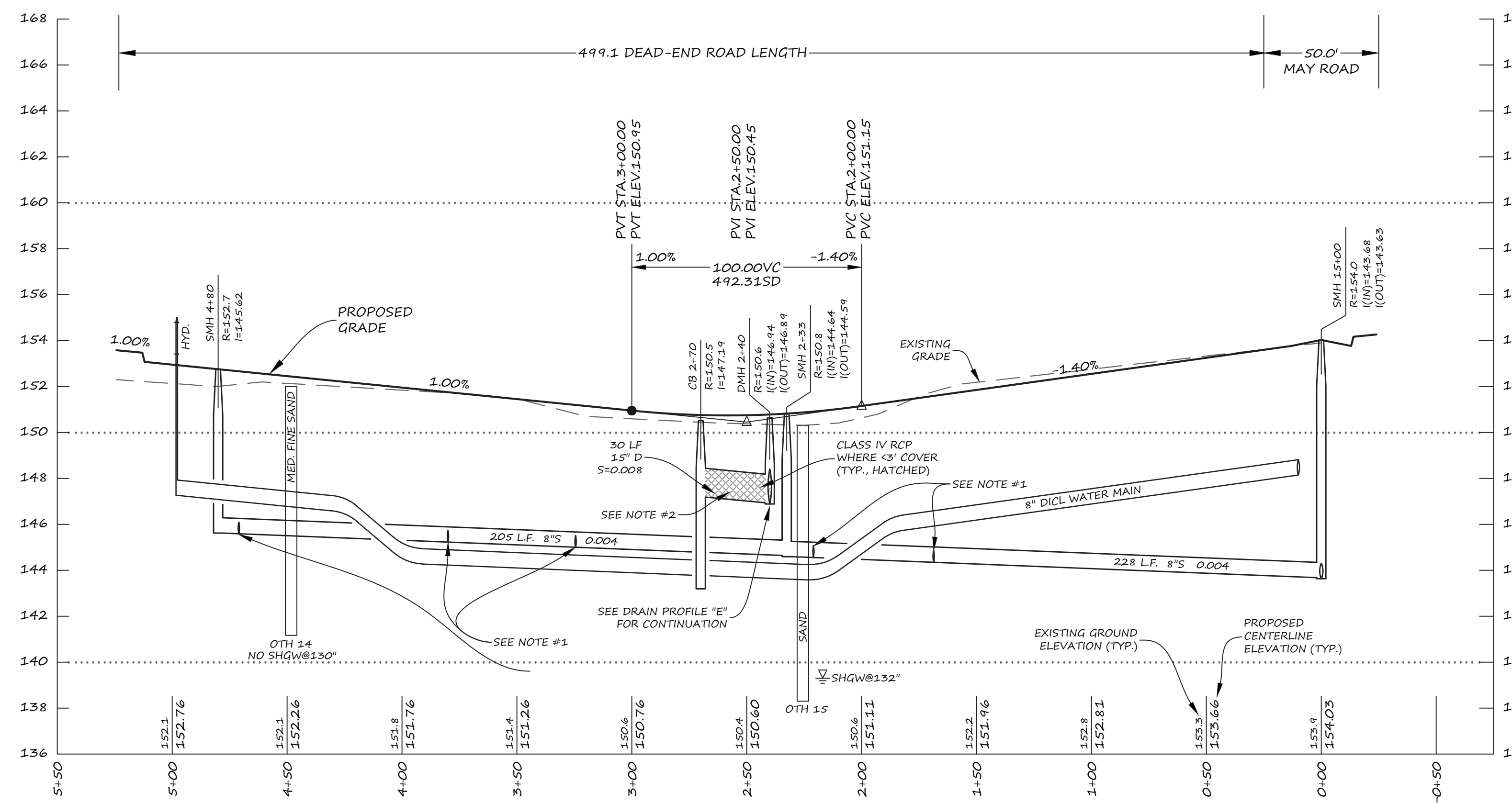


APRIL WAY PLAN VIEW - STATION 0+00 TO END

SCALE: 1" = 40'

PROFILE LEGEND

ABBREV.	DESCRIPTION
M-XX"	REDOX (MOTTLES) AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEeping WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM



APRIL WAY PROFILE - STATION 0+00 TO END

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL

- NOTES:
- LOWER WATER MAIN UNDER SEWER SERVICES. PROVIDE CONCRETE ENCASEMENT OF SEWER SERVICES AT THE WATER MAIN WHERE 18" VERTICAL SEPARATION IS NOT OBTAINED TO WATER MAIN.
 - PROTECT DRAIN PIPES DURING CONSTRUCTION WHERE COVER IS LESS THAN 4.5'

ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
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TOWN CLERK _____ DATE _____

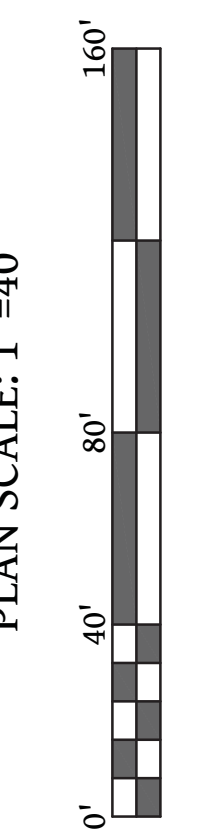
DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:23:11 -04'00'



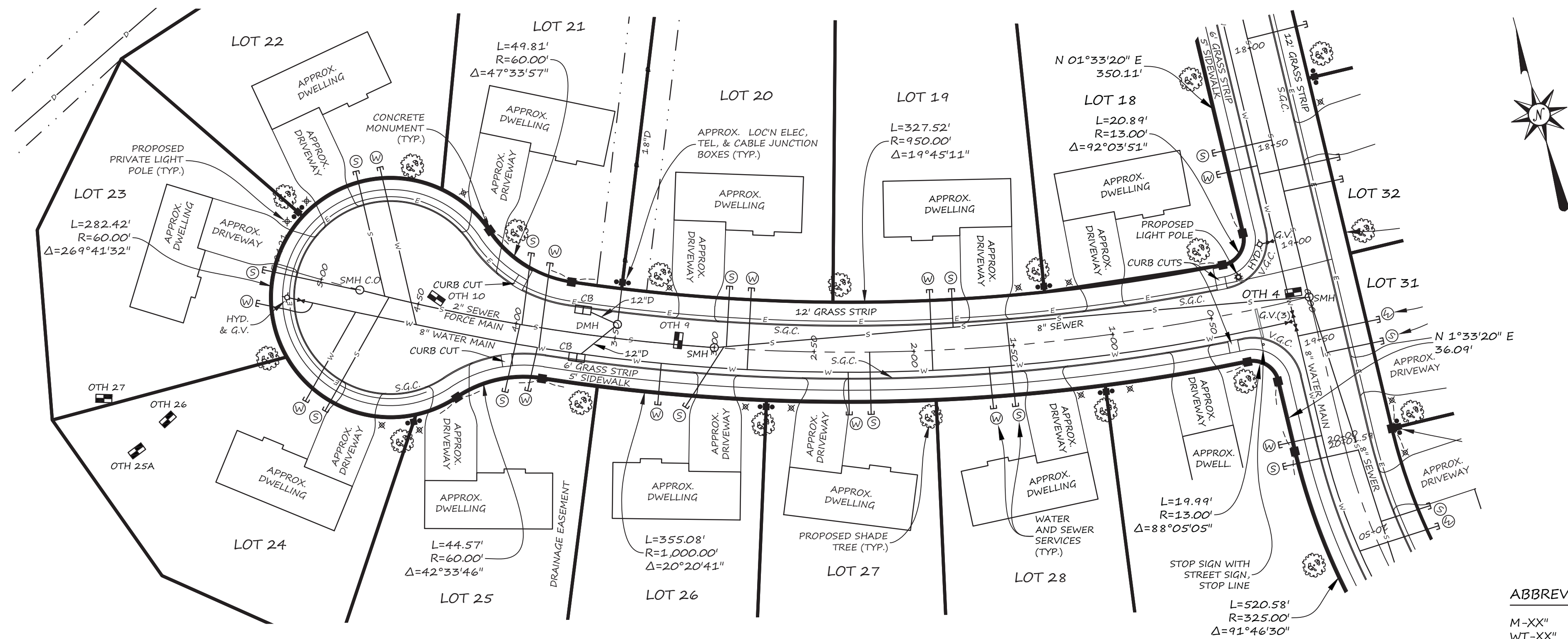
REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
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REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

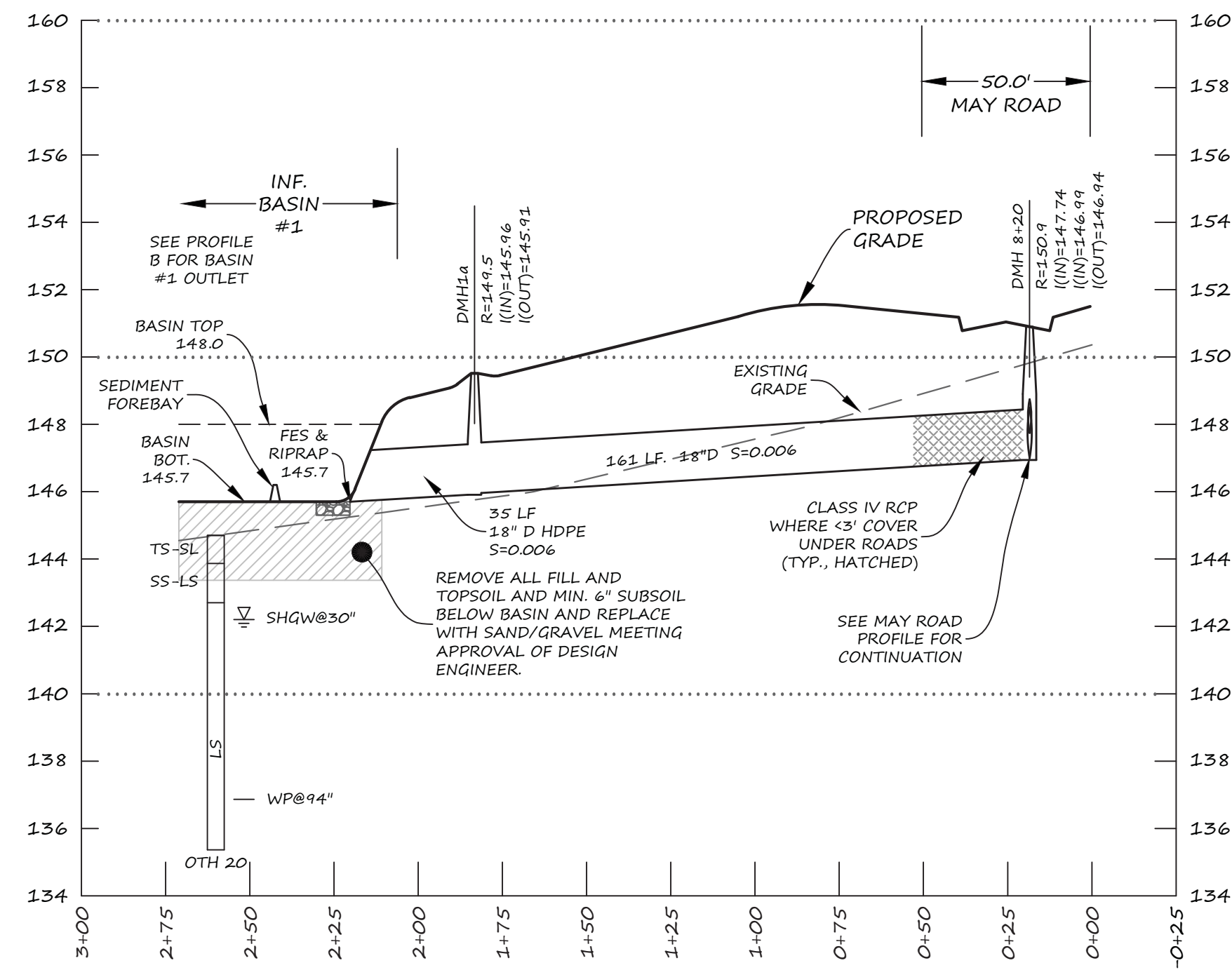
EMERSON PLACE
DEFINITIVE SUBDIVISION
APRIL WAY PROFILE
PLAN OF LAND IN
MILLIS, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-26



D69-03



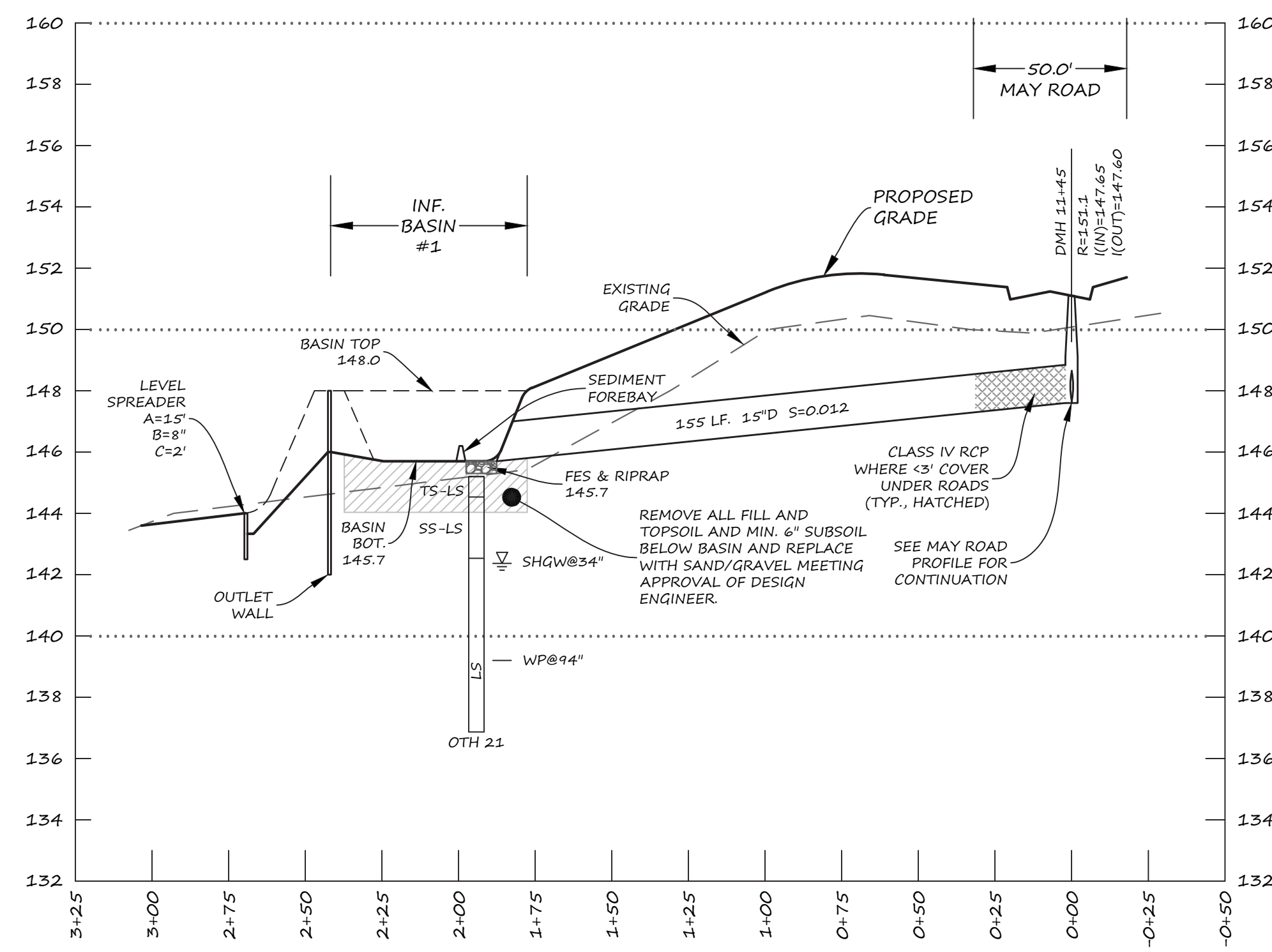


DRAINAGE PROFILE A

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL

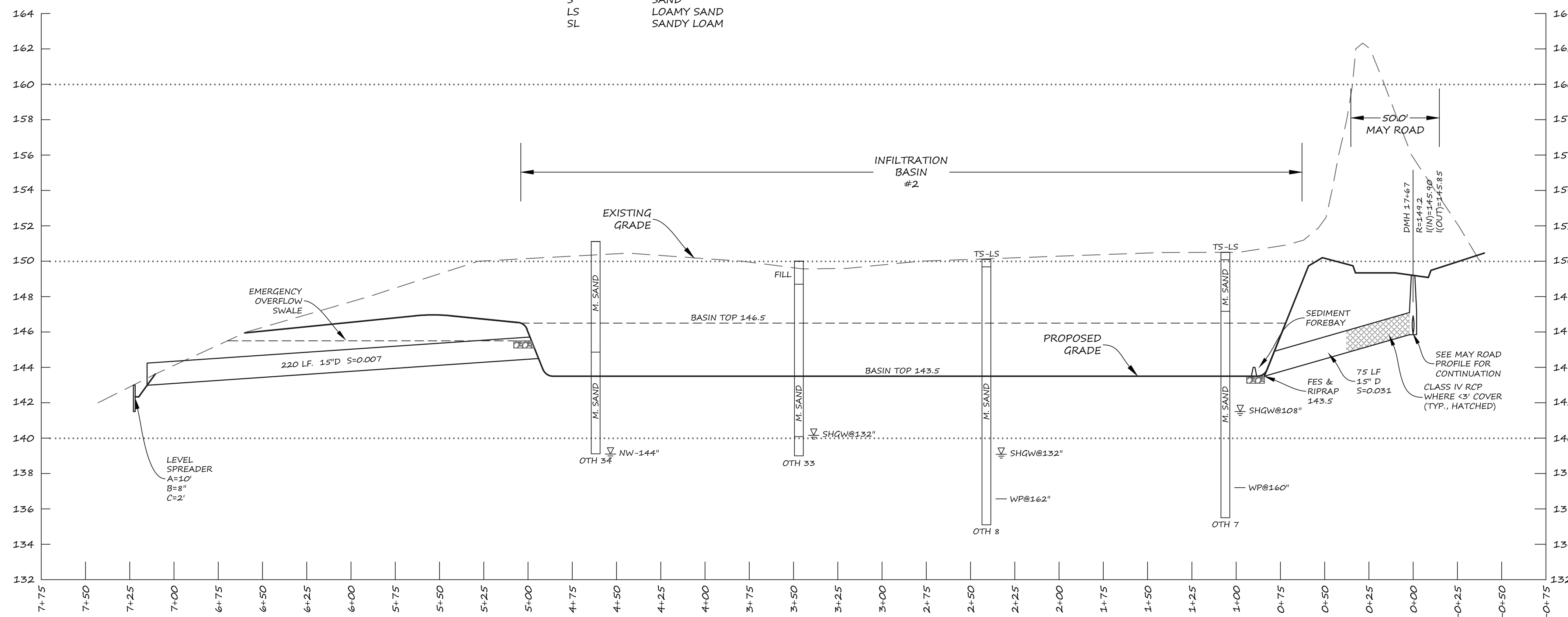
PROFILE LEGEND

ABBREV.	DESCRIPTION
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WT-XX"	STANDING WATER AT XX-INCHES
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NW-XX"	NO GROUNDWATER INDICATORS
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SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM



DRAINAGE PROFILE B

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



DRAINAGE PROFILE C

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL

ZONING DISTRICTS
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ZONE C
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A PORTION OF 23-04
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APPLICANT
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TOWN OF MILLIS PLANNING BOARD

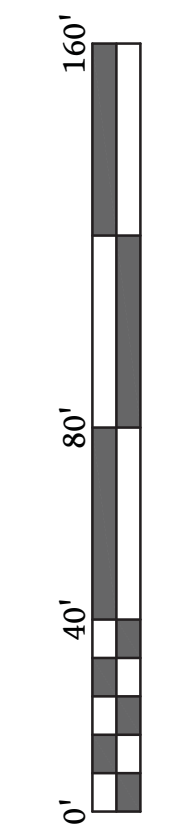
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-28



LEGACY
ENGINEERING



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:25:36 -04'00'

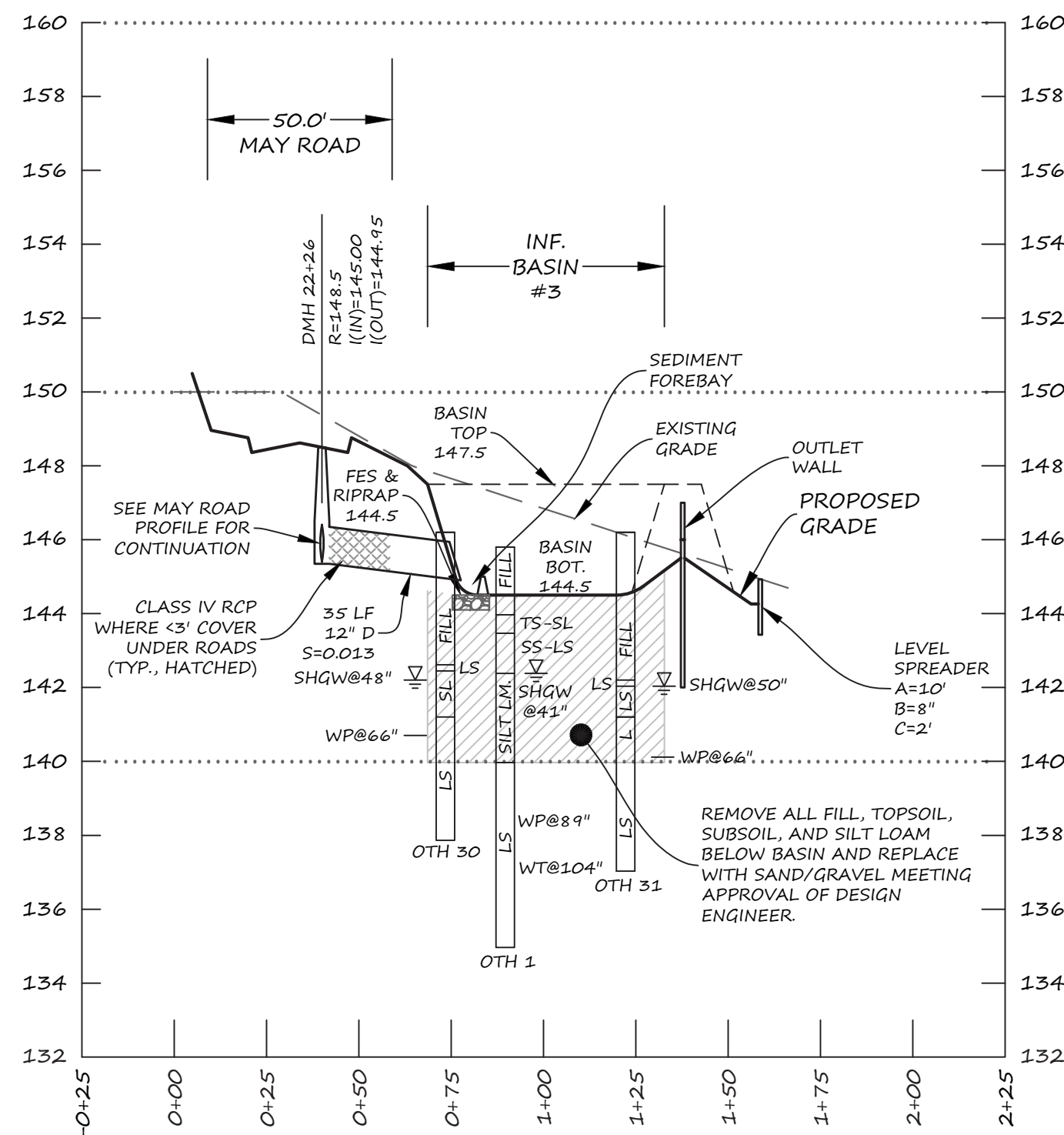


PLAN SCALE: 1"=40'

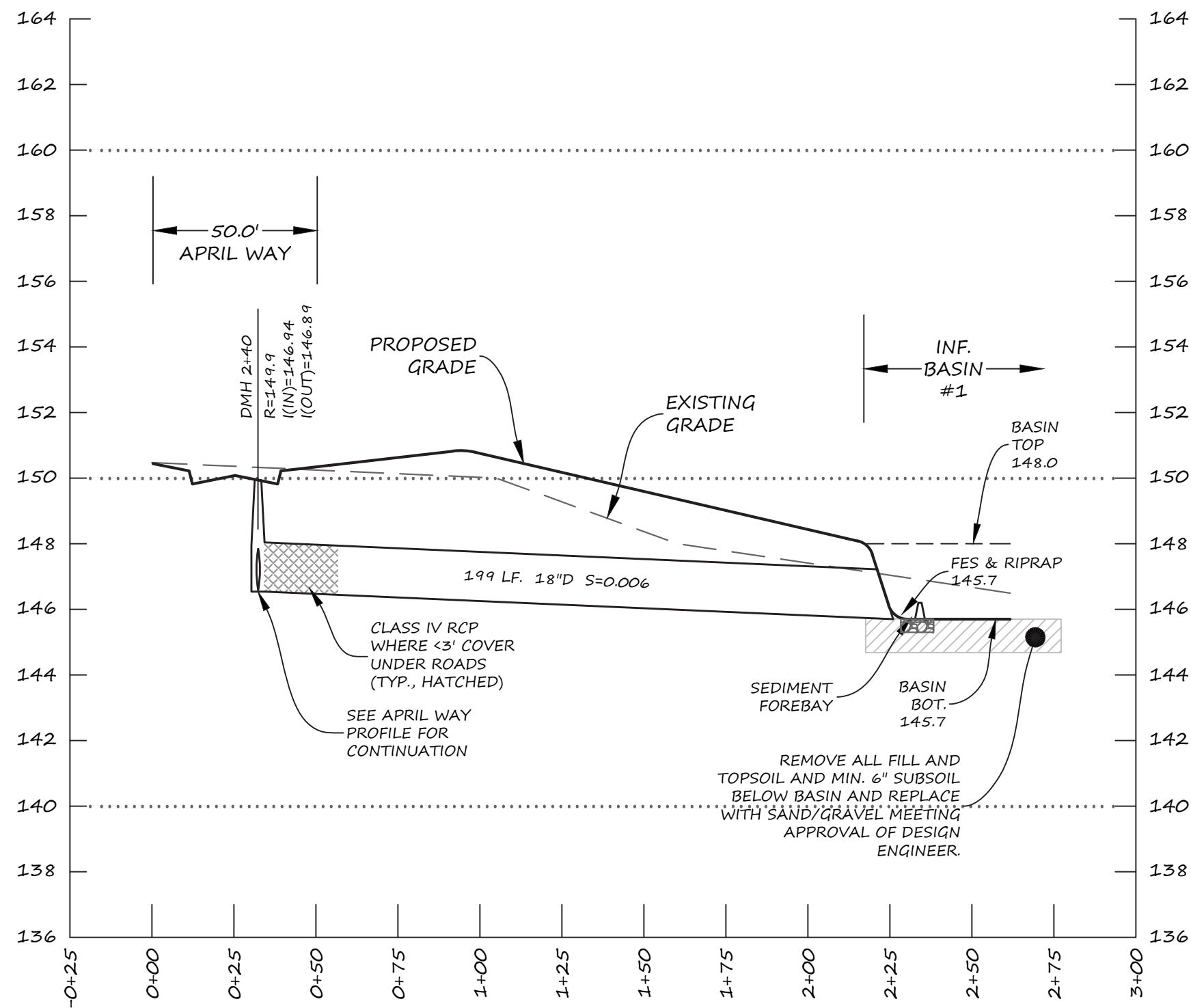
PLAN DATE: FEBRUARY 12, 2020

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
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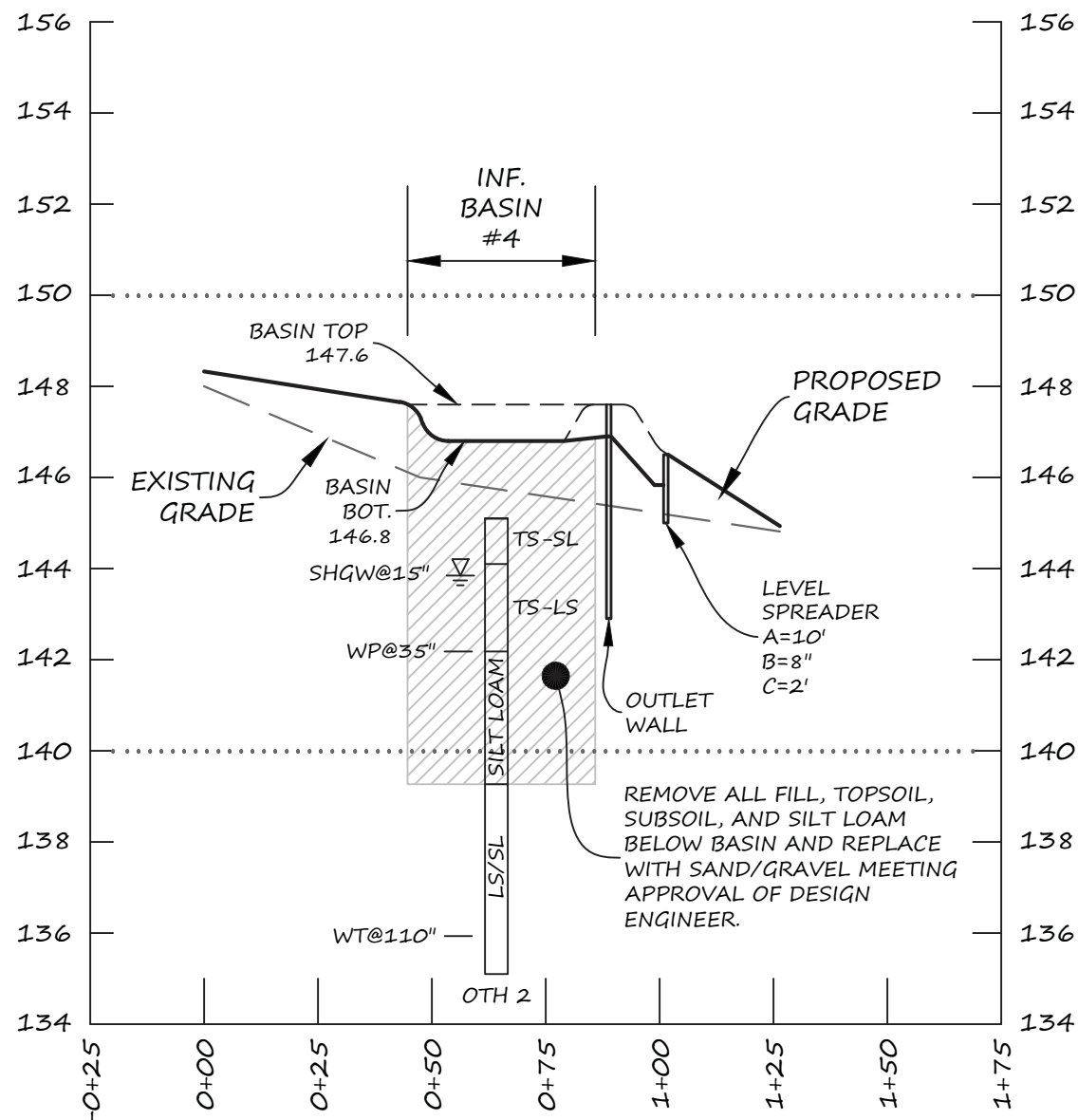
EMERSON PLACE
DEFINITIVE SUBDIVISION
DRAINAGE PROFILE PLAN 1
OF LAND IN
MILLIS, MA



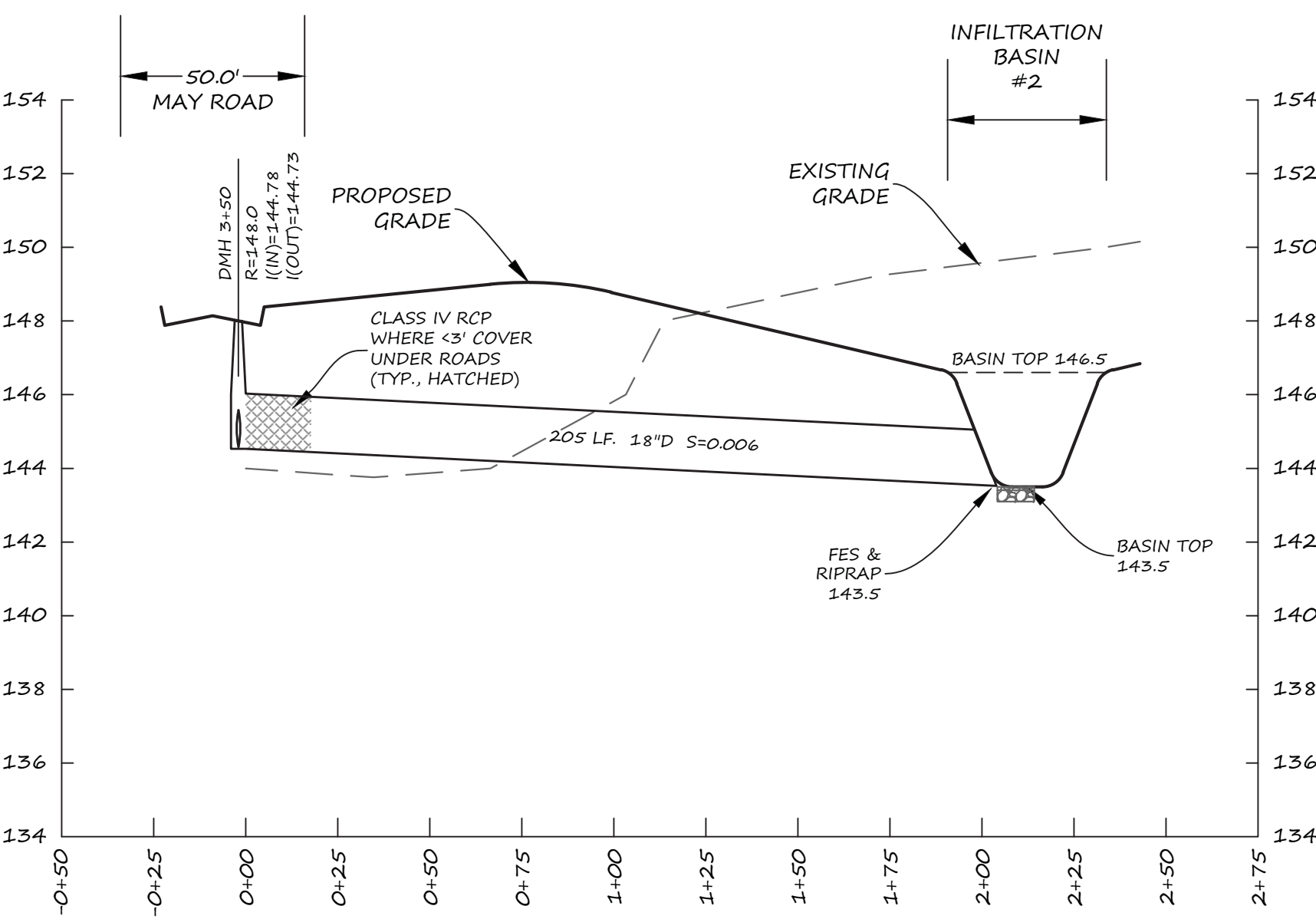
DRAINAGE PROFILE D
SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



DRAINAGE PROFILE E
SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



DRAINAGE PROFILE H
SCALE: 1" = 40' HORIZONTAL
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DRAINAGE PROFILE F
SCALE: 1" = 40' HORIZONTAL
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20-25
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21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

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PLYMOUTH MA, 02360

A PORTION OF 23-04
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APPLICANT
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TOWN OF MILLIS PLANNING BOARD



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2020.09.30 12:26:35
-04'00'

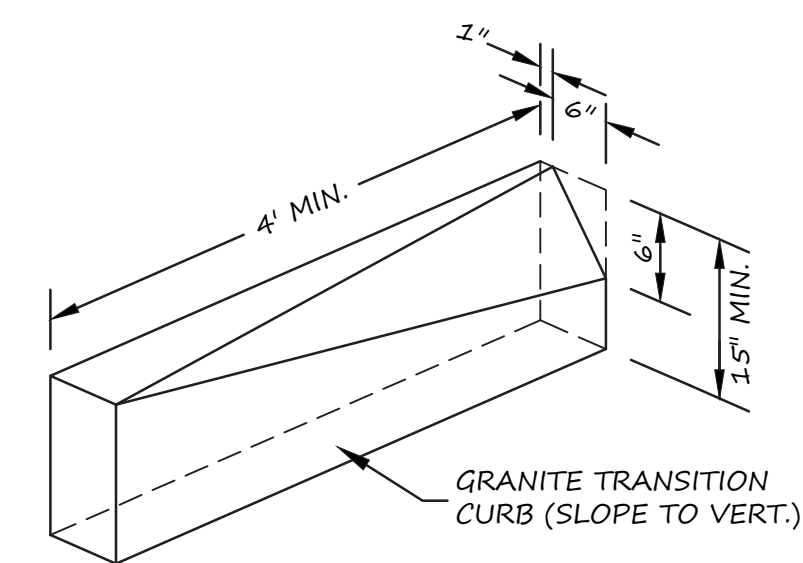


REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
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STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
DRAINAGE PROFILE PLAN 2
OF LAND IN
MILLIS, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-29

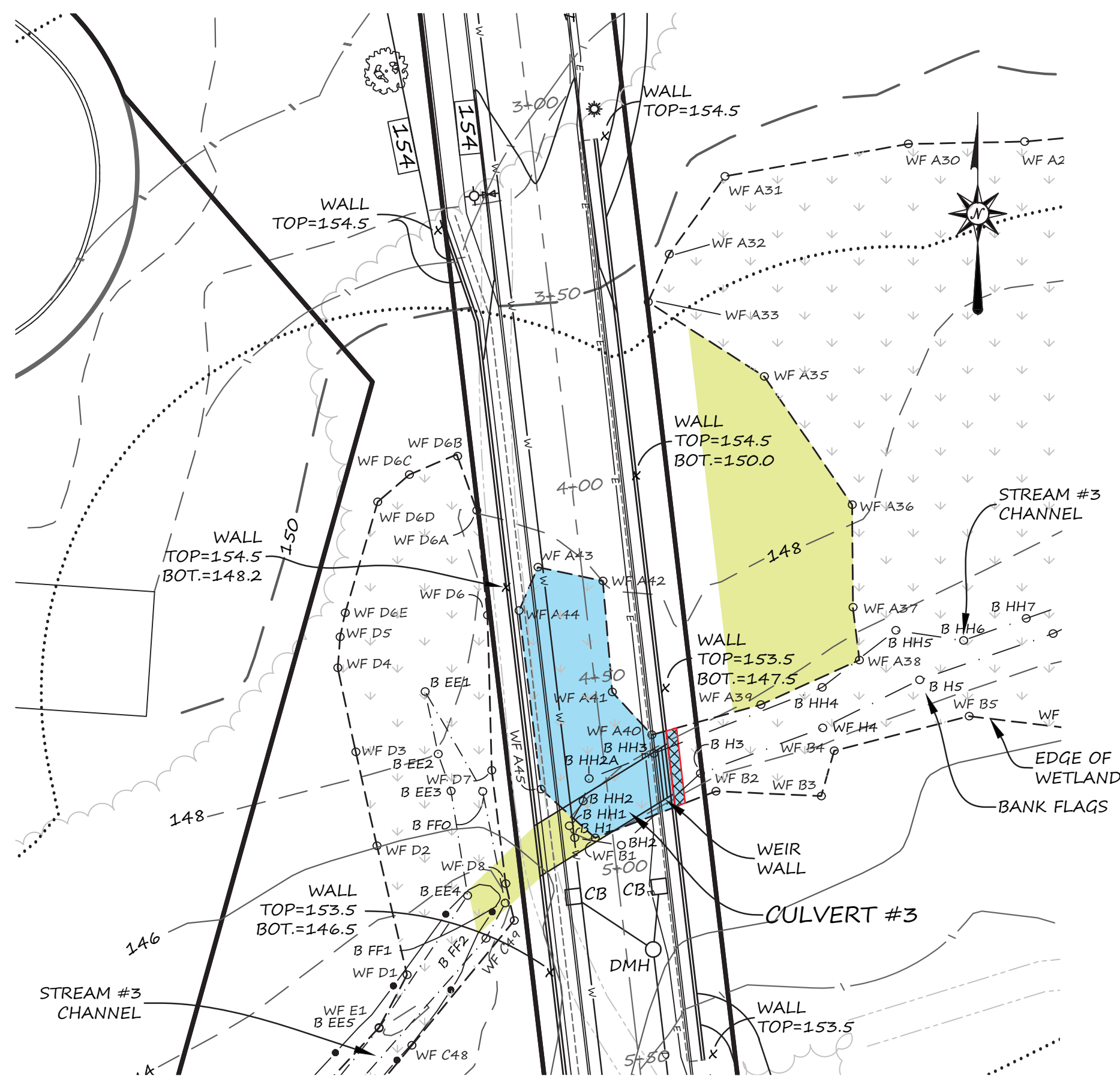




GRANITE TRANSITION CURB DETAIL

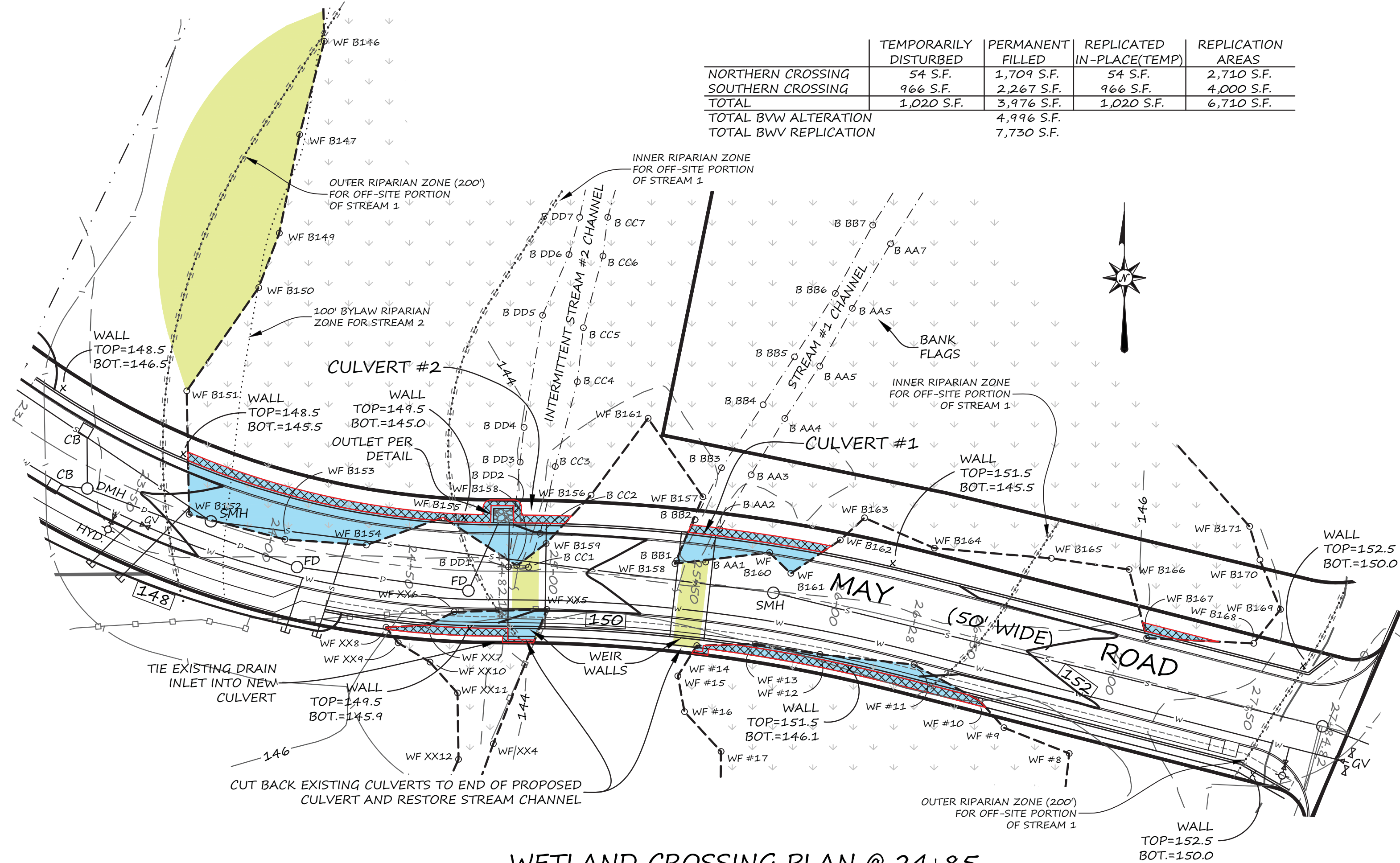
LEGACY
ENGINEERING





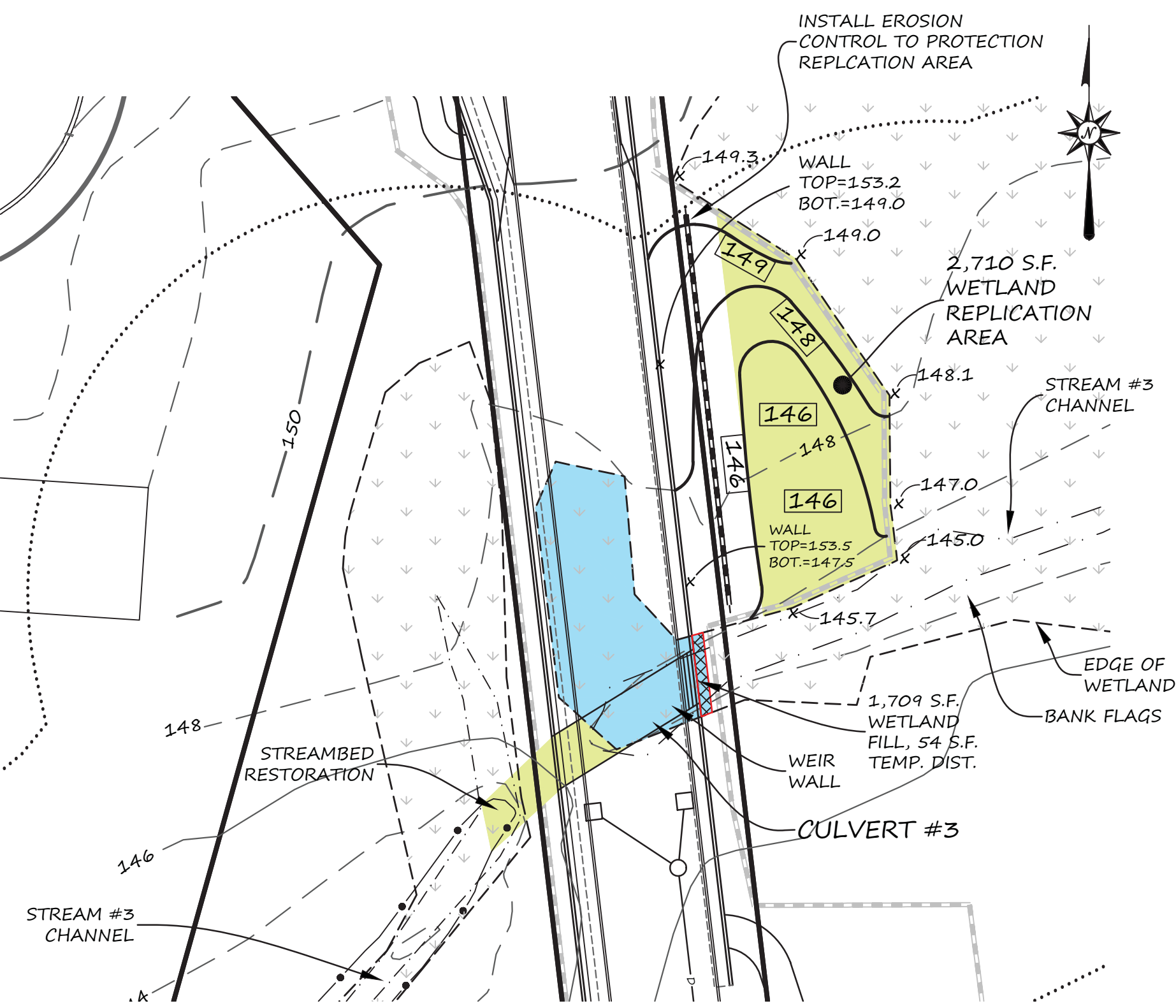
WETLAND CROSSING PLAN @ 4+85

SCALE: 1" = 40'



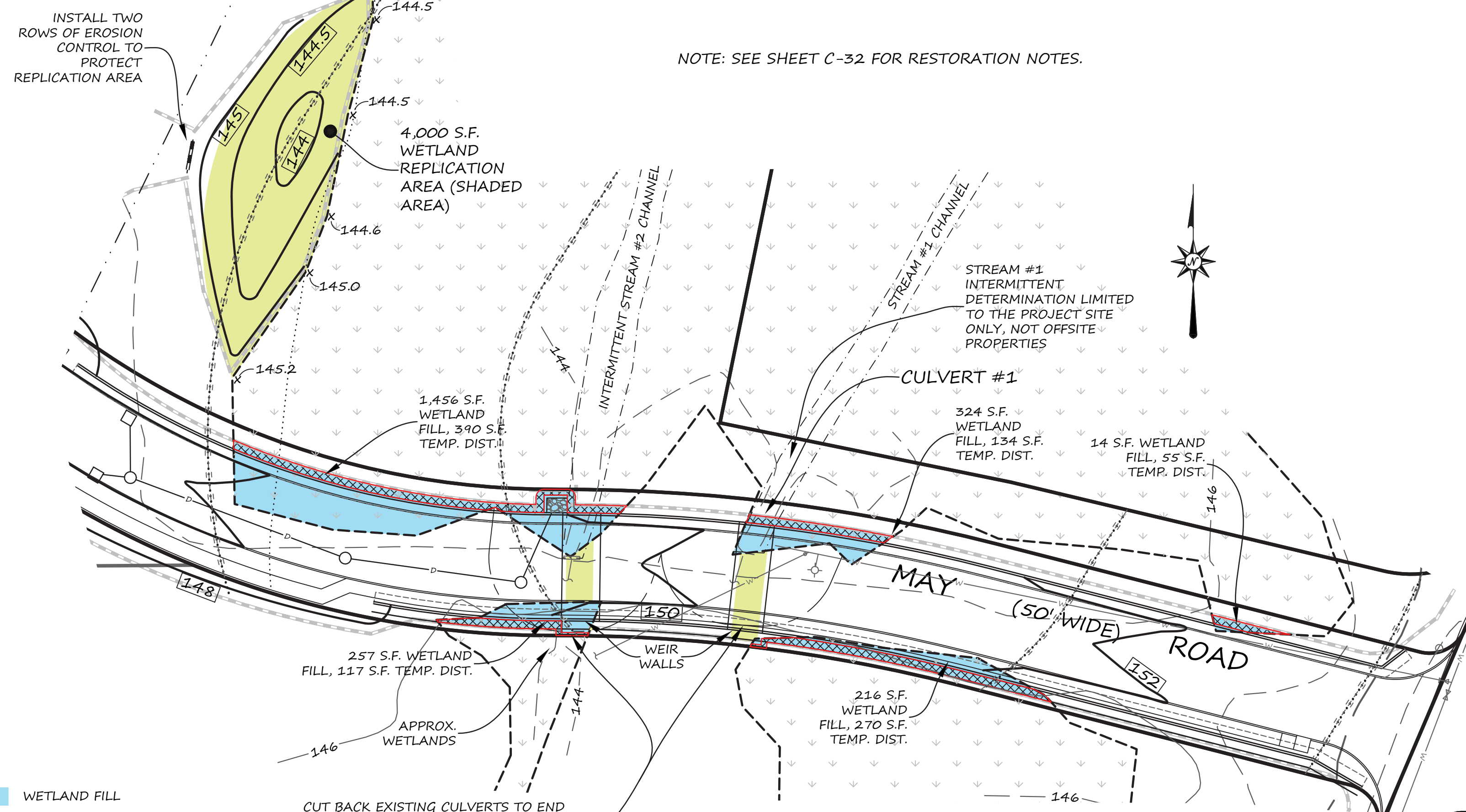
WETLAND CROSSING PLAN @ 24+85

SCALE: 1" = 40'



WETLAND DETAIL @ 4+85

SCALE: 1" = 40'



WETLAND DETAIL @ 24+85

SCALE: 1" = 40'

	TEMPORARILY DISTURBED	PERMANENT FILLED	REPLICATED IN-PLACE(TEMP)	REPLICATION AREAS
NORTHERN CROSSING	54 S.F.	1,709 S.F.	54 S.F.	2,710 S.F.
SOUTHERN CROSSING	966 S.F.	2,267 S.F.	966 S.F.	4,000 S.F.
TOTAL	1,020 S.F.	3,976 S.F.	1,020 S.F.	6,710 S.F.
TOTAL BWV ALTERATION		4,996 S.F.		
TOTAL BWV REPLICATION		7,730 S.F.		

ZONING DISTRICTS
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SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

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TOWN OF MILLIS PLANNING BOARD



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2020.09.30 12:29:05
-04'00'

PLAN SCALE: NOT TO SCALE

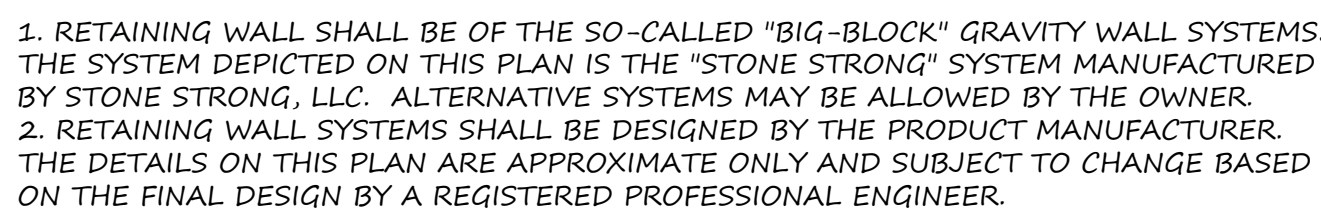
REVISION	DATE	BY
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EMERSON PLACE
DEFINITIVE SUBDIVISION
DETAILS PLAN 2
OF LAND IN
MILLIS, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-31



LEGACY
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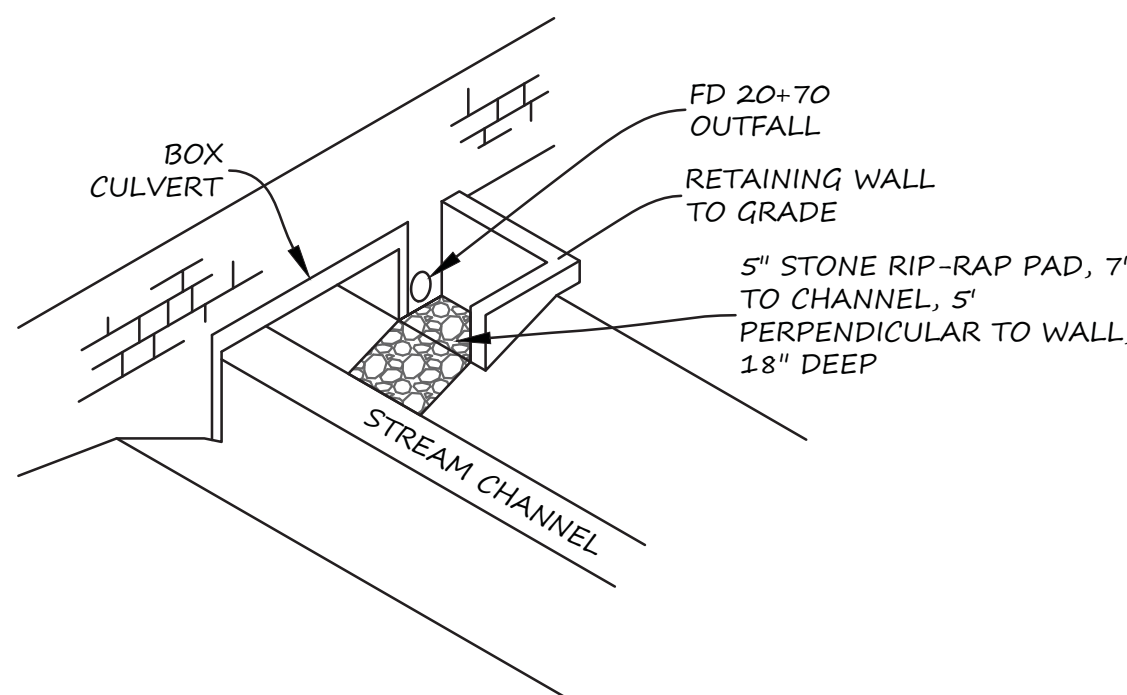
NOT TO SCALE

1. CROSSING WIDTH IS AT LEAST 1.2 TIMES THE BANKFULL WIDTH (BW).
 - 1.1. CULVERT 1: 9.75' AVERAGE BFW * 1.2 = 11.7' MIN; 12' WIDTH PROVIDED
 - 1.2. CULVERT 2: 8.0' AVERAGE BFW * 1.2 = 9.6' MIN; 13' WIDTH PROVIDED
 - 1.3. CULVERT 3: 10.5' AVERAGE BFW * 1.2 = 12.6' MIN; 13' WIDTH PROVIDED
2. THE BOTTOM SUBSTRATE MATCHES THE EXISTING SUBSTRATE.
3. THE PROPOSED WATER DEPTH AND VELOCITY MATCH EXISTING CONDITIONS OVER A RANGE OF FLOWS.
4. OPENNESS (X-SECTION AREA/L) IS MORE THAN 0.82. THE CROSS SECTIONAL AREA OF EACH CULVERT HAS BEEN CALCULATED TO EXCLUDE THE FLOW-CONTROL WEIR WALL.
 - 4.1. CULVERT #1: 36.5 S.F./36'=1.01
 - 4.2. CULVERT #2: 29.6 S.F./36'=0.82
 - 4.3. CULVERT #3: 35.4 S.F./40'=0.89
5. BANKS MATCH THE EXISTING BANKS AND WILL BE CONSTRUCTED SO AS TO NOT HINDER RIVERINE WILDLIFE.

1. CONSTRUCT WETLAND REPLICATION AREAS IN ACCORDANCE WITH THE REPORT FROM GODDARD CONSULTANTS.
2. STRIP EACH WETLAND REPLICATION AREA TO A DEPTH 6"-12" BELOW PROPOSED GRADES. INSTALL 6"-12" OF ORGANIC SOIL IN THE WETLAND REPLICATION AREAS WITH SALVAGED LOAM FROM THE STRIPPING OF FILLED WETLANDS AREAS. SUPPLEMENT WITH 50:50 MIX OF LOAM AND ORGANIC MATERIAL WITH ORGANIC CONTENT OF 12 -20%. DO NOT DRIVE OVER LOAM AFTER INSTALLATION AND PROVIDE MICRO RELIEF PITS AND MOUNDS AS DIRECTED BY THE APPLICANT'S WETLAND SCIENTIST.
3. INSTALL WOODY DEBRIS AND ROCKS THROUGHOUT REPLICATION AREA AS DIRECTED BY APPLICANT'S WETLAND SCIENTIST.
4. PLANT EACH REPLICATION AREA IN ACCORDANCE WITH THE APPROVED WETLAND REPLICATION PLAN BY GODDARD CONSULTANTS.
5. CONSTRUCTION OF THE WETLANDS IS TO OCCUR AS SOON AS PRACTICABLE AFTER ALTERATION OF EXISTING WETLANDS AND DURING THE SAME GROWING SEASON TO THE FULLEST EXTENT POSSIBLE.

1. SHOULD THE STREAM BE FLOWING DURING STREAM WORK ACTIVITY, A SMALL TEMPORARY COFFERDAM (E.G. SANDBAGS, SHEET METAL ETC.) SHALL BE INSTALLED ACROSS THE STREAMBED IMMEDIATELY UPGRADIENT OF THE PROPOSED WORK ACTIVITY. CONTAINED WATER WILL BE PUMPED DOWNGRADIENT AROUND THE WORK AREA TO THE STREAM CHANNEL DOWNSTREAM.
2. EFFORT SHALL BE MADE TO SCHEDULE WORK ON THE STREAM DURING PERIODS OF LOW WATER AND WHEN PREDICTED WEATHER CONDITIONS ARE ABSENT OF A SUBSTANTIAL FORECASTED RAIN EVENTS.
3. EROSION CONTROLS WITHIN THE STREAM CHANNEL SHALL BE IMPLEMENTED DURING CONSTRUCTION, INCLUDING STAKED HAY-BALES AND SILT-FENCE INSTALLED ACROSS THE STREAMBED IMMEDIATELY DOWNGRADIENT OF THE PROPOSED WORK.
4. ANY NECESSARY DEWATERING WILL BE PERFORMED USING CONSTRUCTION BEST MANAGEMENT PRACTICES.
5. SIX INCH BIODEGRADABLE COIR FIBER LOGS SHALL BE USED TO RESTORE AND/OR STABILIZE THE STREAM BANKS IMMEDIATELY ADJACENT TO THE RETAINING WALL.
6. CONSTRUCTION OF THE FIBER LOGS SHALL BE INSTALLED/EMBEDDED DIRECTLY ON THE FACE OF THE BANK AND ANCHORED (E.G. DUCKBILL, EARTH ANCHORS, OR WOODEN STAKES).
7. IF NECESSARY, APPROPRIATE BIODEGRADABLE EROSION CONTROL NETTING (E.G. JUTE) SHALL BE INSTALLED AND STAKED ACCORDING TO THE MANUFACTURER OVER ANY DISTURBED AREAS IMMEDIATELY ADJACENT TO THE STREAM CHANNEL SUBJECT TO FLOW OR EROSION, OR AS RECOMMENDED BY THE WETLAND SCIENTIST.
7. THE BOTTOM SUBSTRATE WITHIN THE RESTORED CHANNEL IMMEDIATELY ADJACENT TO THE NEW RETAINING WALLS SHALL BE SIMILAR TO THE COMPOSITION OF THE SUBSTRATE IN THE ADJACENT EXISTING STREAM CHANNEL AND WILL BE DESIGNED TO RESIST DISPLACEMENT.
8. EFFORTS SHALL BE MADE STOCKPILE AND RE-USE EXISTING STREAM SUBSTRATE WHEN APPROPRIATE.

1. INSTALL EROSION CONTROLS AT THE CROSSINGS.
2. IF THERE IS FLOW IN THE STREAM CHANNEL(S), INSTALL COFFERDAM UPSTREAM AND BYPASS PUMP AS NOTED ABOVE.
3. CLEAR THE CROSSINGS, WETLAND REPLICATION AREAS AND STAGING AREAS. GRUB UPLAND AREAS ONLY INITIALLY.
4. INSTALL THE REMAINDER OF EROSION CONTROLS.
5. INSTALL TEMPORARY EARTHEN BERMS ALONG EITHER SIDE OF THE CROSSINGS, INSIDE OF EROSION CONTROL LINES (EXCEPT AT THE STREAM CHANNEL). BERMS SHALL BE AT LEAST THREE FEET HIGH.
6. REMOVE TOPSOIL AND UNSUITABLES AND STOCKPILE IN THE STAGING AREA.
7. INSTALL A MINIMUM OF TWO FEET OF DRIVEWAY FILL THROUGH CROSSING TO STABILIZE THE ENTRANCE, EXCEPT AT THE STREAM CHANNEL AND TO PROVIDE A WORKING SURFACE.
8. INSTALL UTILITIES THROUGH THE CROSSING AREAS.
9. INSTALL CULVERTS.
10. INSTALL BASE LAYERS OF RETAINING WALLS TO A HEIGHT SUFFICIENT TO STABILIZE THE WORK AREA.
11. INSTALL ROADWAY RETAINING WALLS.
11. GRADE AND INSTALL TOPSOIL IN BOTH WETLAND REPLICATION AREAS.
12. FINISH GRADE AREAS ALONG RETAINING WALLS AND CULVERTS.
13. RESTORE STREAM CHANNELS IMMEDIATELY ADJACENT TO NEW RETAINING WALLS.
14. PLANT WETLAND REPLICATION AREAS AS SOON AS WEATHER PERMITS AS DIRECTED BY WETLAND SCIENTIST.



NOT TO SCALE

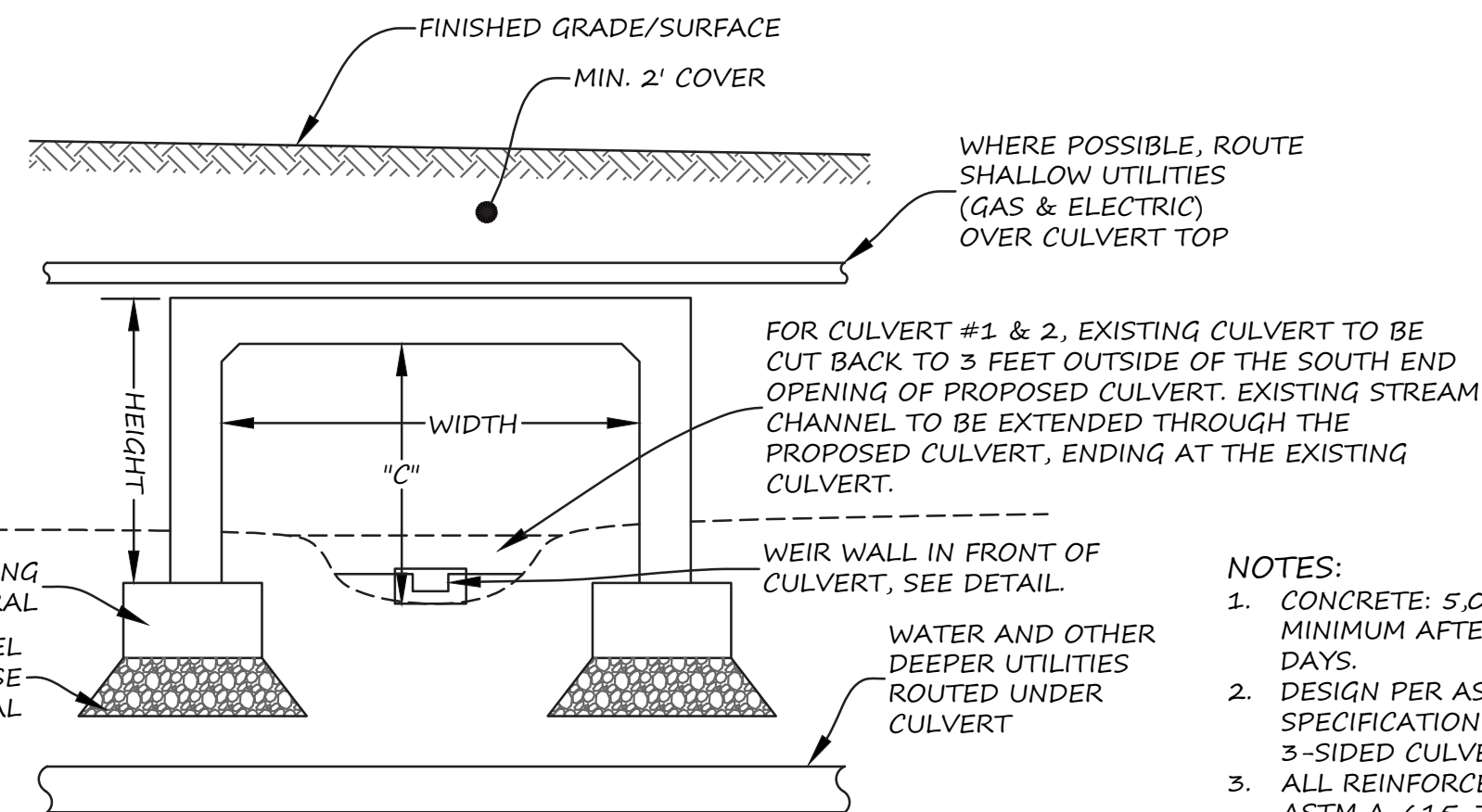


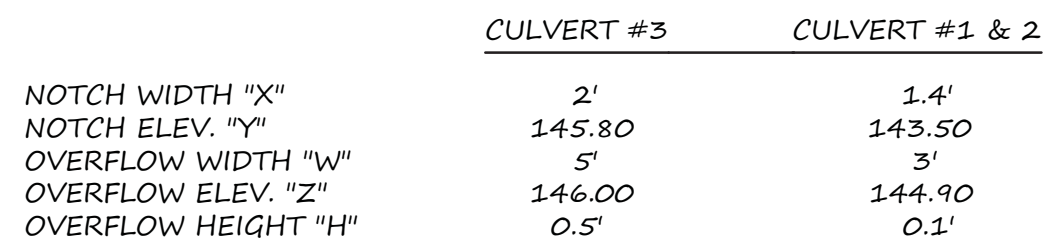
Diagram illustrating the components and dimensions of a precast concrete culvert section:

- CONNECT RETAINING WALL TO CULVERT PER STRUCTURAL**: Label pointing to the connection between the retaining wall and the culvert structure.
- LENGTH**: Dimension indicating the length of the culvert section.
- PRECAST CONCRETE CULVERT SECTION**: Label pointing to the main body of the culvert.
- CONCRETE BLOCK UNITS**: Label pointing to the individual blocks forming the culvert walls.
- WIDTH**: Dimension indicating the width of the culvert opening.
- CULVERT FOOTING PER STRUCTURAL**: Label pointing to the foundation for the culvert.
- RETAINING WALL FOOTING PER STRUCTURAL**: Label pointing to the foundation for the retaining wall.

CULVERT #1	CULVERT #2	CULVERT #3
12' MIN.	13' MIN.	13' MIN.
6.5' MIN.	6' MIN.	6' MIN.
4.5' MIN.	3.7' MIN.	3.2' MIN.
36'	36'	40'

1. CULVERTS SHALL BE DESIGNED BY A REGISTERED STRUCTURAL ENGINEER FOR HS20 TRUCK LOADINGS.

NOT TO SCALE



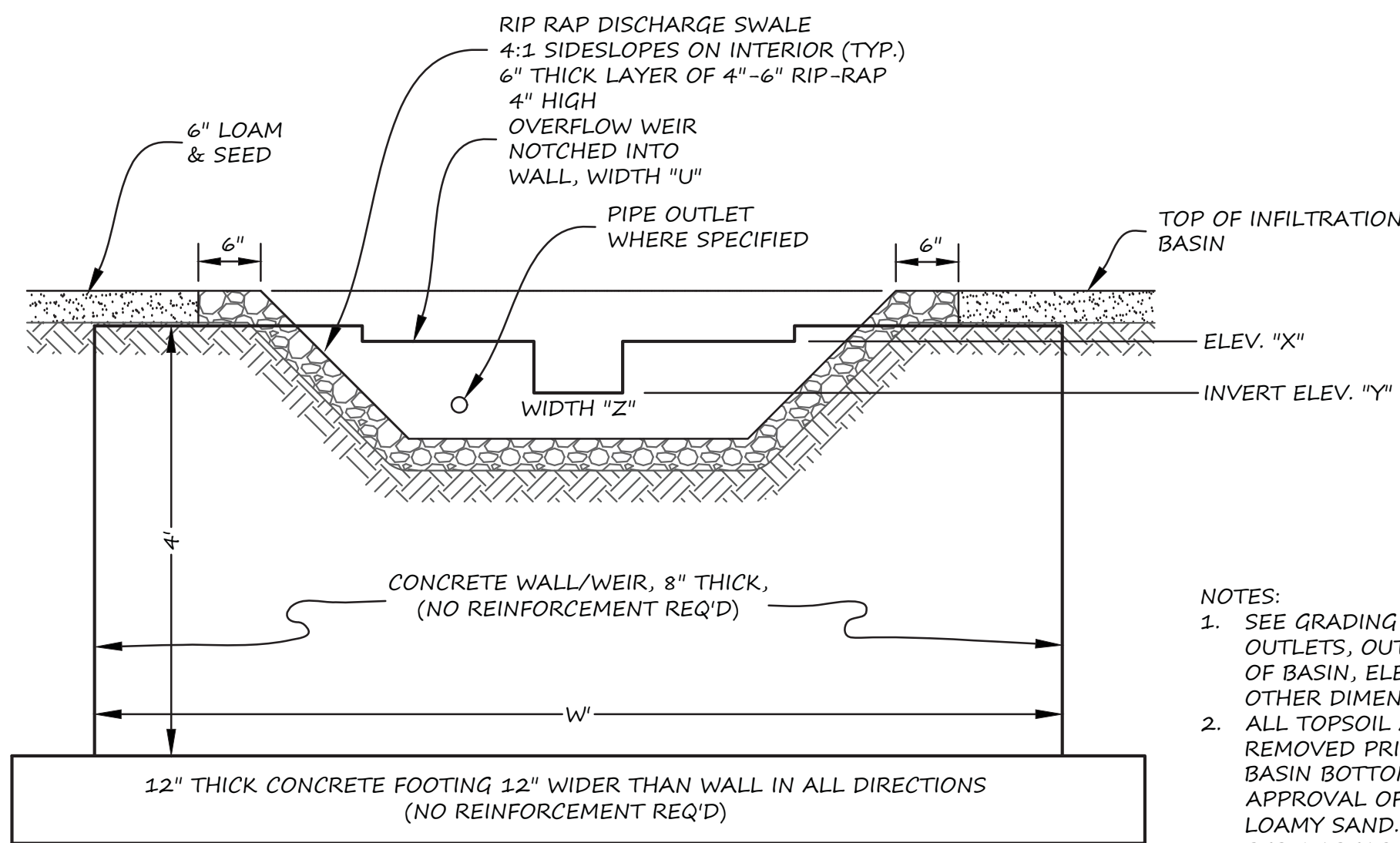
1. CONCRETE: 5,000 SF PSI
MINIMUM AFTER 28
DAYS.
2. DESIGN PER ASTM C1504
SPECIFICATION FOR
3-SIDED CULVERT.
3. ALL REINFORCEMENT PER
ASTM A-615-75.
4. DESIGNED TO AASHTO
H-20 LOADING, 1 TO 5
FEET COVER.
5. TONGUE AND GROOVE
JOINT SEALED WITH
BUTYL RESIN.

TOWN CLERK	DATE
DATE APPROVED: _____	
DATE ENDORSED: _____	



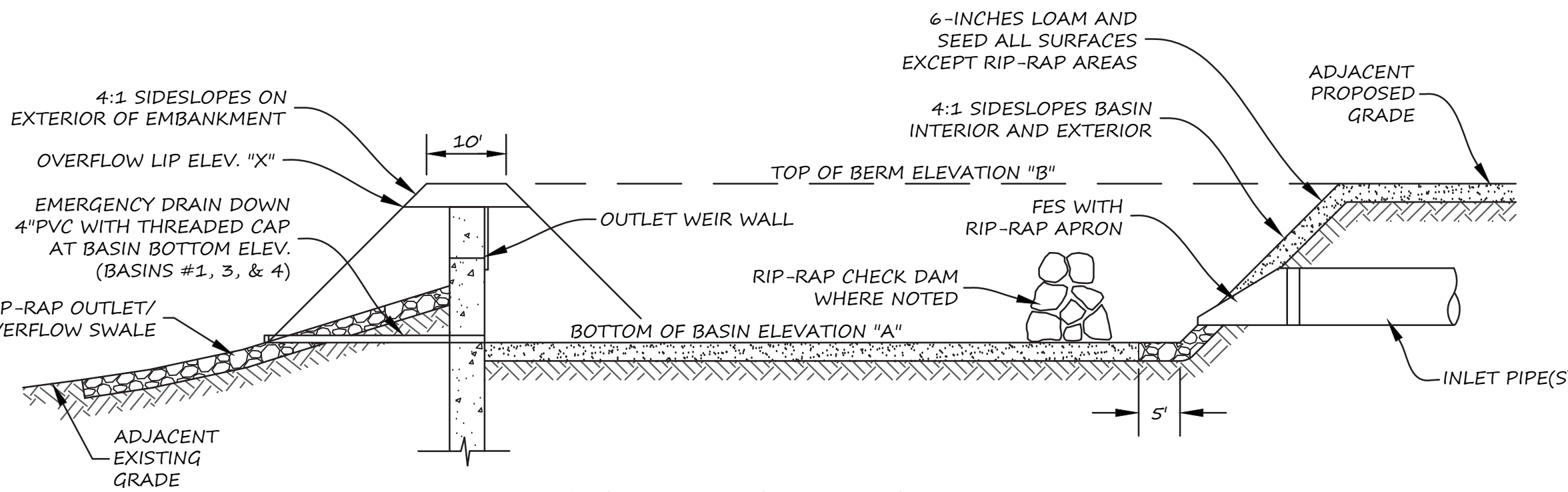
PLAN DATE: FEBRUARY 12, 2020		REVISION	DATE	BY
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		REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
		REVISIONS PER TOWN COMMENTS	2020-08-11	DJM
		REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
		REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
		STREAM #1 STATUS NOTES	2020-09-14	DJM
		STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
DETAILS PLAN 2
OF LAND IN
MILLIS, MA



OUTLET WEIR AND RIP-RAP SWALE DETAIL

- NOTES:
- SEE GRADING SHEETS AND PROFILE SHEETS FOR SIZE OF INLETS AND OUTLETS, OUTLET STRUCTURE SPECIFICATIONS, ELEVATION OF BOTTOM OF BASIN, ELEVATION OF TOP OF BASIN, SLOPE OF SIDESLOPES, AND OTHER DIMENSIONAL REQUIREMENTS FOR EACH BASIN.
 - ALL TOPSOIL AND SUBSOIL BELOW THE BOTTOM OF THE BASIN SHALL BE REMOVED PRIOR TO BASIN CONSTRUCTION. FILL MATERIALS UNDER THE BASIN BOTTOM SHALL BE CLEAN SAND OR GRAVEL MEETING THE APPROVAL OF THE DESIGN ENGINEER. FILL FOR BERMS MAY BE SAND OR LOAMY SAND. (TITLE V CLASSIFICATIONS).
 - BERM AREAS SHALL BE REMOVED OF ALL TOPSOIL AND OTHER UNSUITABLE SOILS. BERM CORE SHALL CONSIST OF ORDINARY BORROW INSTALLED IN 12-INCH LIFTS TO A MINIMUM 93% PROCTOR DENSITY.
 - MONITORING WELLS ARE TO BE IMPLEMENTED WHERE NOTED ON THE PLANS. WELLS ARE TO BE 4" PERFORATED PVC PIPE WRAPPED IN TWO LAYERS OF FILTER FABRIC WITH A REMOVABLE CAP SET 6" ABOVE FINISHED GRADE.
 - A SIEVE ANALYSIS IS TO BE COMPLETED FOR ALL FILL PLACED UNDERNEATH THE BASINS.



TYPICAL BASIN CROSS-SECTION

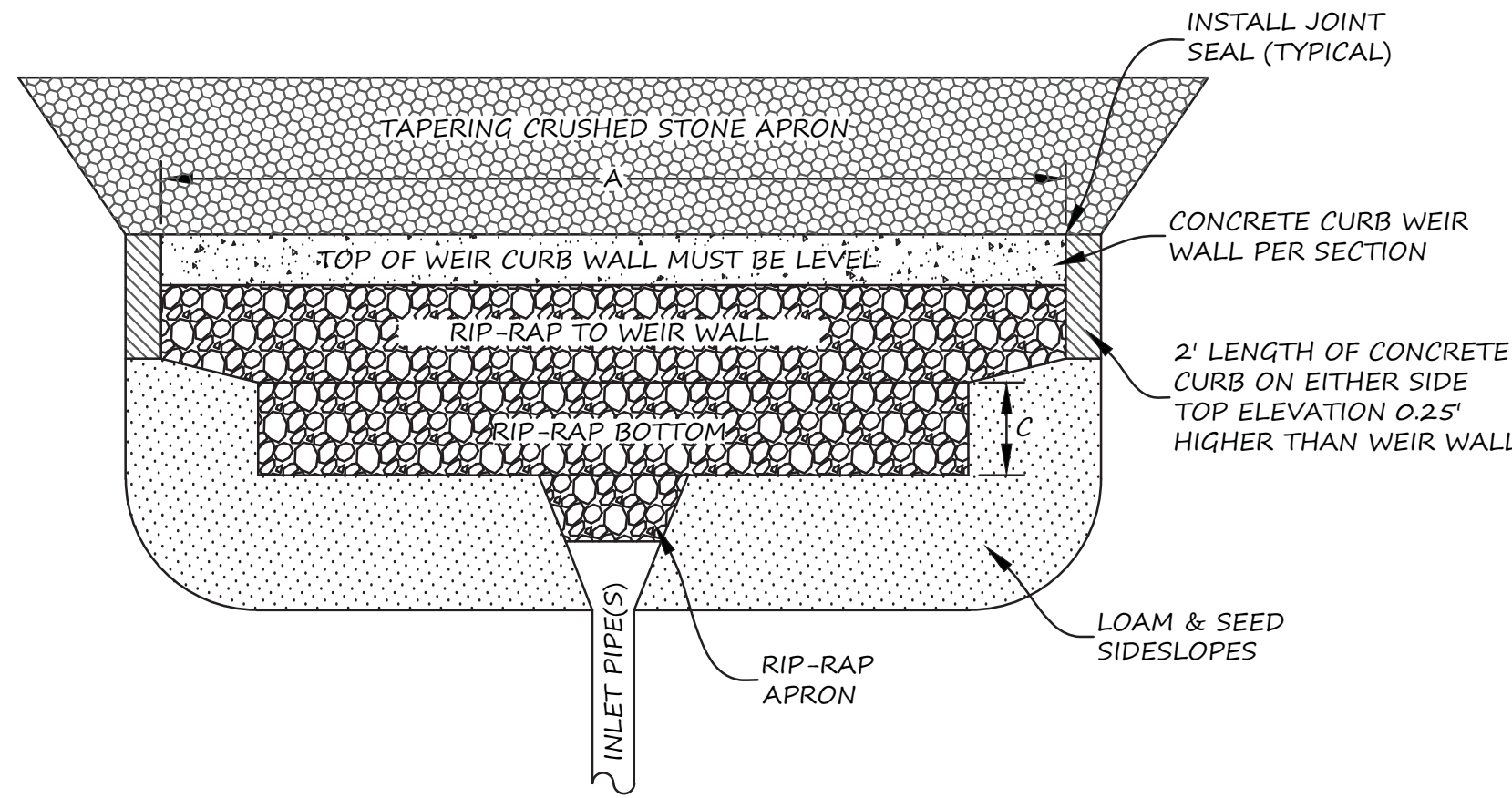
SCHEDULE OF DIMENSIONS AND ELEVATIONS

BASIN #1	BASIN #2	BASIN #3	BASIN #4
145.7	143.5	144.5	146.8
148.0	146.5	147.5	147.6
24'	N/A	26'	10'
146.50	145.50	146.5	147.20
5'	5'	4'	
146.00	N/A	N/A	146.90
1'	N/A	N/A	1.5
N/A	15"	2"	N/A
N/A	144.50	145.00	N/A

BOTTOM OF BASIN ELEVATION "A"
TOP OF BERM ELEVATION "B"
OUTLET WEIR WALL LENGTH "W"
OVERFLOW ELEVATION "X"
OVERFLOW WIDTH "U"
DISCHARGE ORIFICE INVERT "Y"
ORIFICE WIDTH "Z"
PIPE DIAMETER
PIPE INVERT

TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE

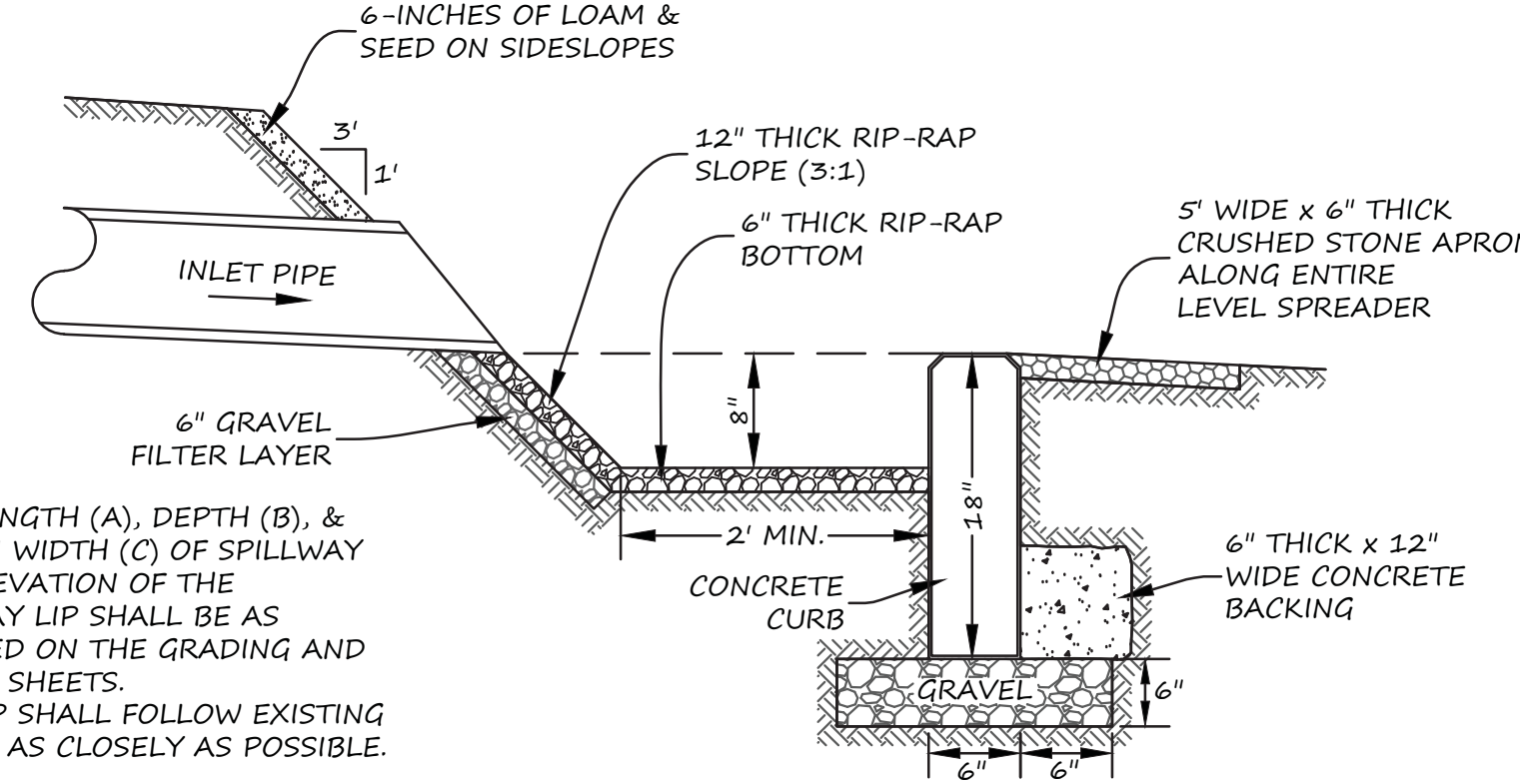


PLAN VIEW

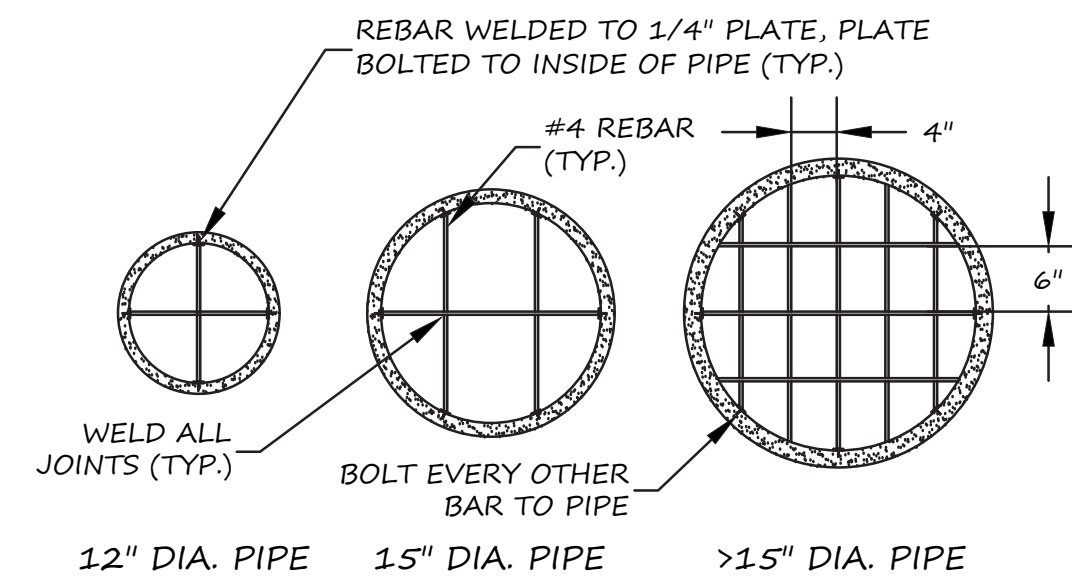
LEVEL SPREADER DETAIL

NOT TO SCALE

- NOTES:
- WEIR LENGTH (A), DEPTH (B), & BOTTOM WIDTH (C) OF SPILLWAY AND ELEVATION OF THE SPILLWAY LIP SHALL BE AS SPECIFIED ON THE GRADING AND PROFILE SHEETS.
 - WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.

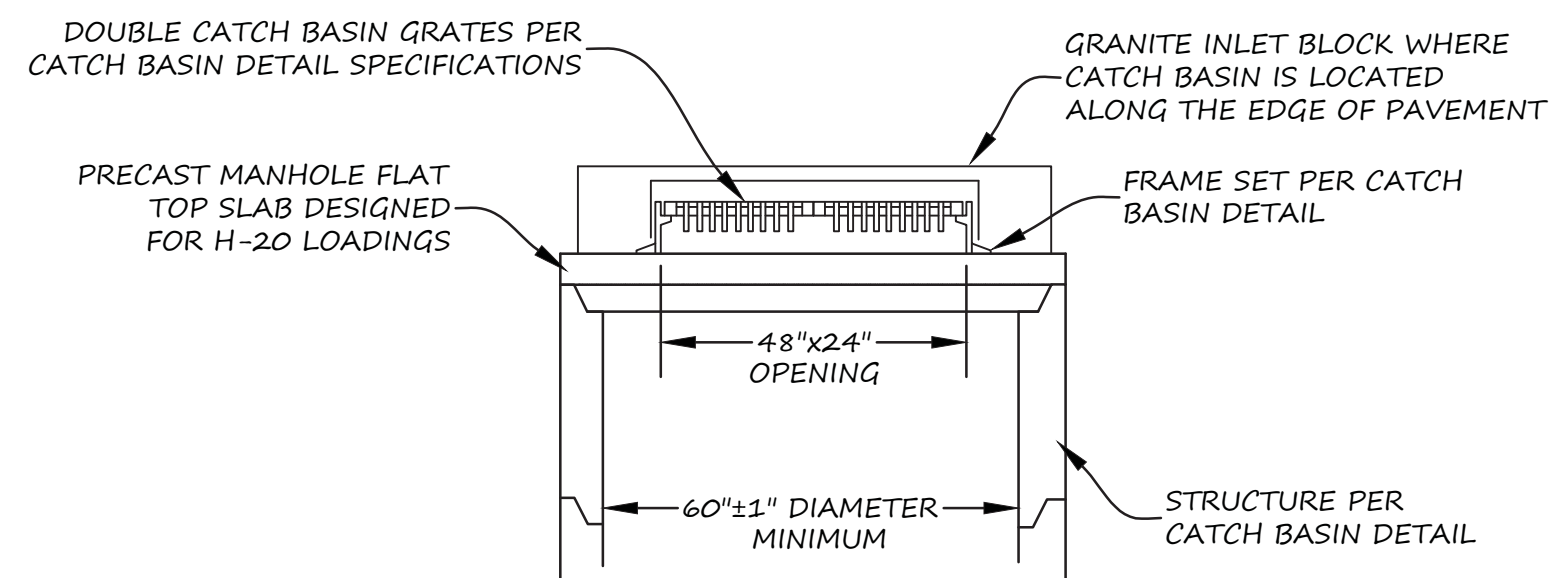


TYPICAL SECTIONAL VIEW



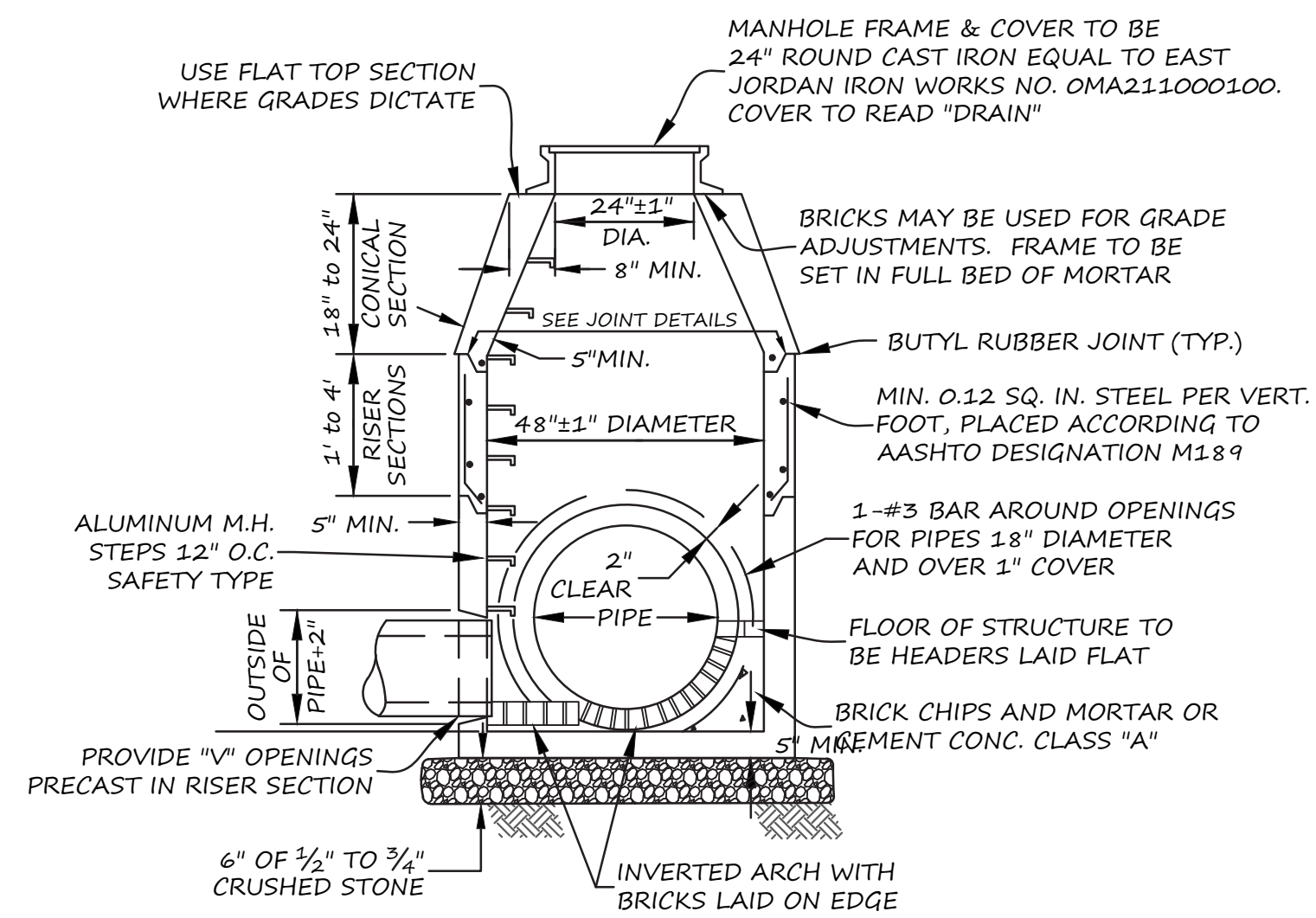
PIPE DISCHARGE GRATE DETAIL

NOT TO SCALE



CATCH BASIN DOUBLE GRATE DETAIL

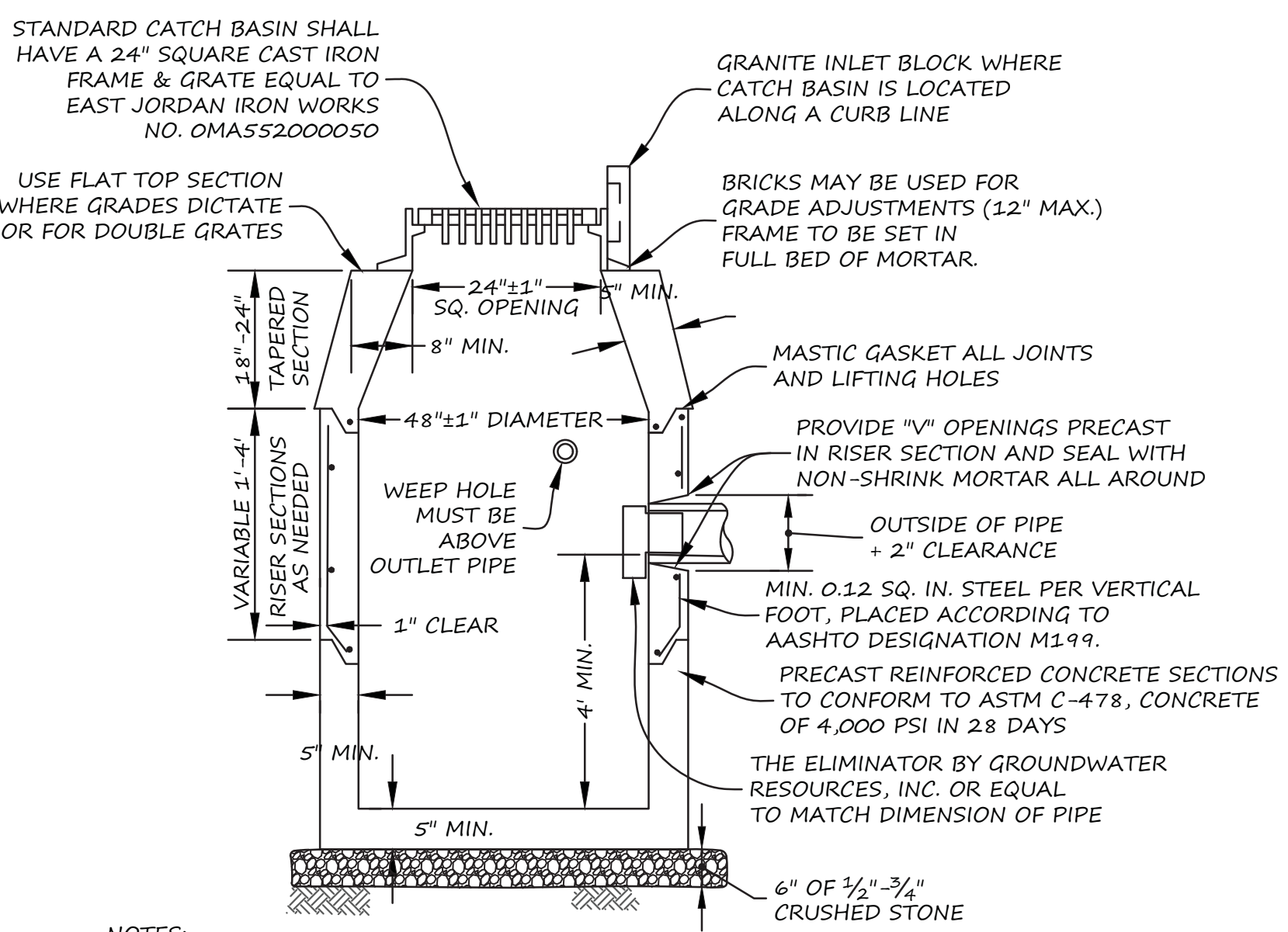
NOT TO SCALE



- NOTES:
- MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
 - SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

PRECAST CONCRETE DRAIN MANHOLE

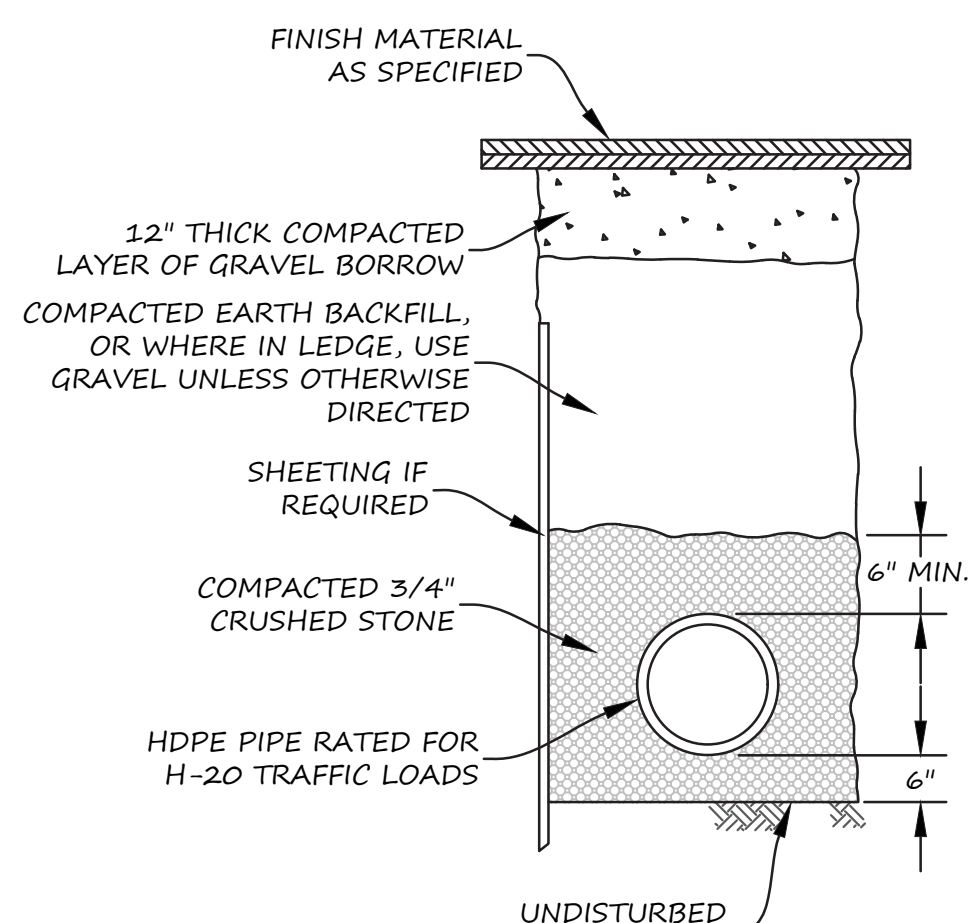
NOT TO SCALE



- NOTES:
- NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
 - PROVIDE 5' DIAMETER STRUCTURE WITH FLAT TOP WITH RECTANGULAR OPENING FOR DOUBLE GRATES, WHICH SHALL BE EAST JORDAN IRON WORKS NO. 0MA544000002 WITH GRATES EQUAL TO ABOVE-SPECIFICATION.

PRECAST CONCRETE CATCH BASIN

NOT TO SCALE



TYPICAL DRAIN TRENCH

(NO SCALE)

ZONING DISTRICTS
RESIDENTIAL R-5
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS
15-66
GJK LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO THIS PLAN CONFORM TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

PROFESSIONAL LAND SURVEYOR

INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A DECISION FILED WITH THE TOWN CLERK ON JUNE 17, 2020, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TD DEVELOPMENT, LLC ET AL., DATED _____, AND RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS SIMULTANEOUSLY HERewith. THE REQUIREMENTS OF THE COVENANT RUN WITH THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____
DATE APPROVED: _____
DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-33



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:30:44 -04'00'

PLAN SCALE: NOT TO SCALE

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
DETAILS PLAN 3
OF LAND IN
MILLIS, MA



NOT TO SCALE



NOT TO SCALE



- NOTES:
1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

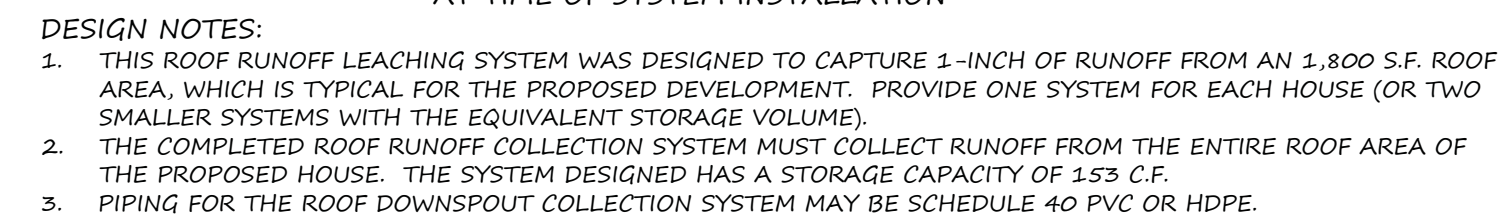


NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET.

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

PLAN DATE: FEBRUARY 12, 2020		
REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-07-27	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-08-14	DJM
STREAM #2 STATUS NOTES	2020-07-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
DETAILS PLAN 4
OF LAND IN
MILLIS, MA

ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
GJ&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

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AND REGULATIONS OF THE REGISTERS OF
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MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO THIS PLAN CONFORM TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A
DECISION FILED WITH THE TOWN CLERK ON
JUNE 17, 2020, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY TD DEVELOPMENT, LLC ET. AL.,
DATED _____, AND RECORDED IN
THE NORFOLK COUNTY REGISTRY OF DEEDS
SIMULTANEOUSLY HERewith. THE
REQUIREMENTS OF THE COVENANT RUN WITH
THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
THE PLANNING BOARD APPROVAL AND NO
APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

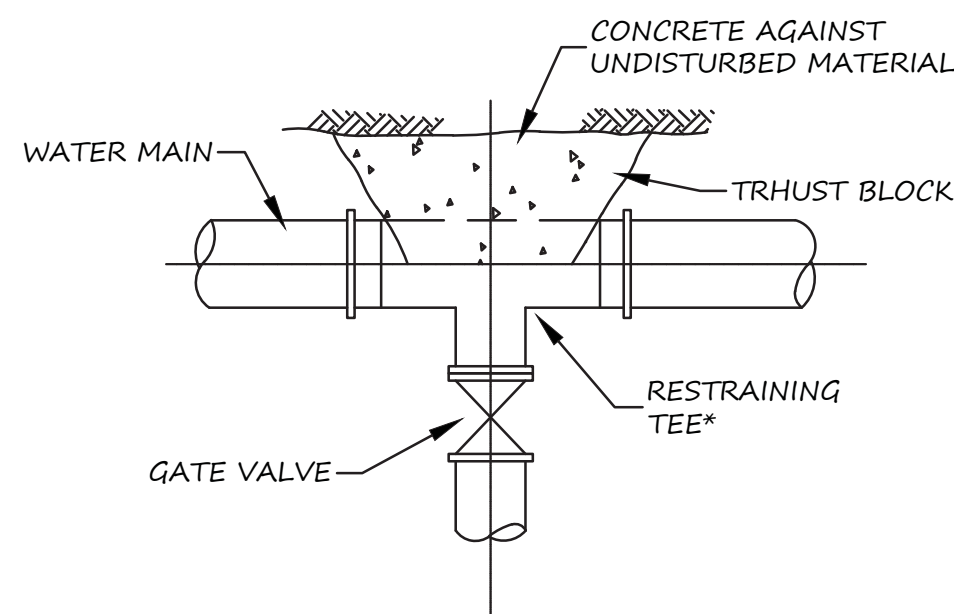
TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-34



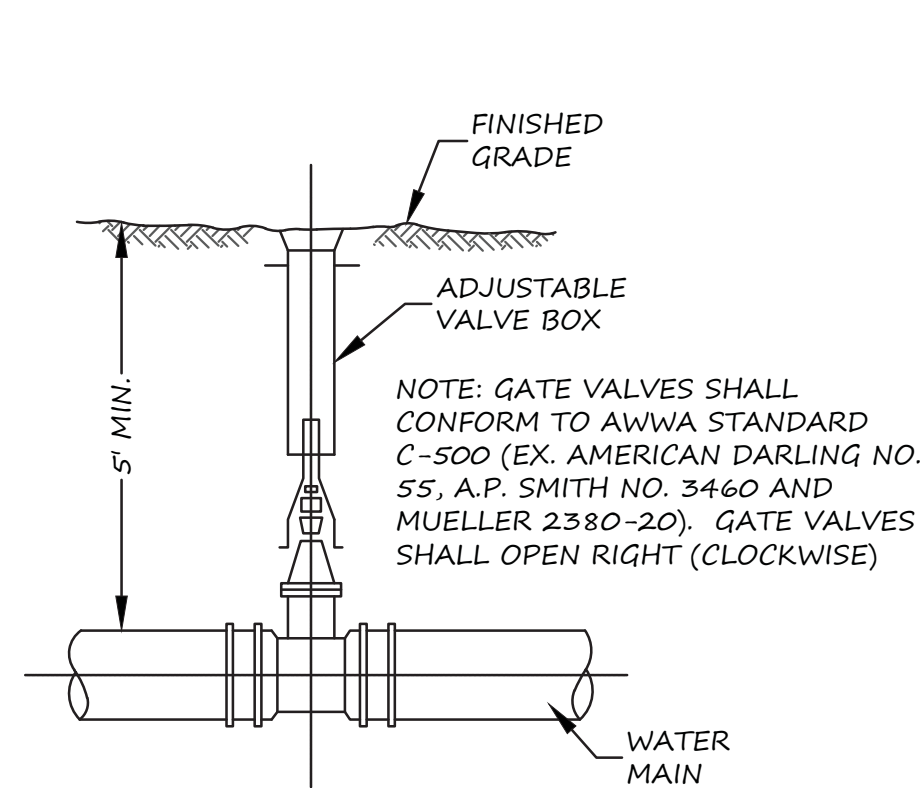
LEGACY
ENGINEERING



NOTE: MECHANICAL JOINT RESTRAINT SYSTEMS SUCH AS "MEGALUG" MAY BE USED SUBJECT TO APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS/ENGINEERING DEPT.

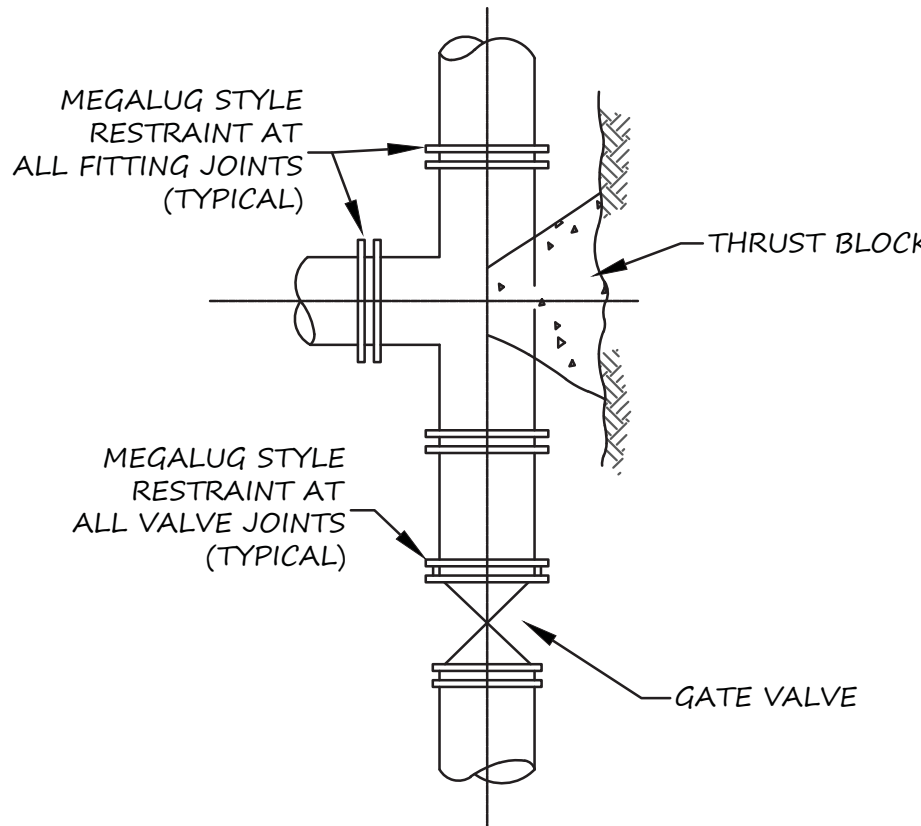
TYPICAL LATERAL GATE VALVE CONNECTION DETAILS

NOT TO SCALE



TYPICAL GATE VALVE

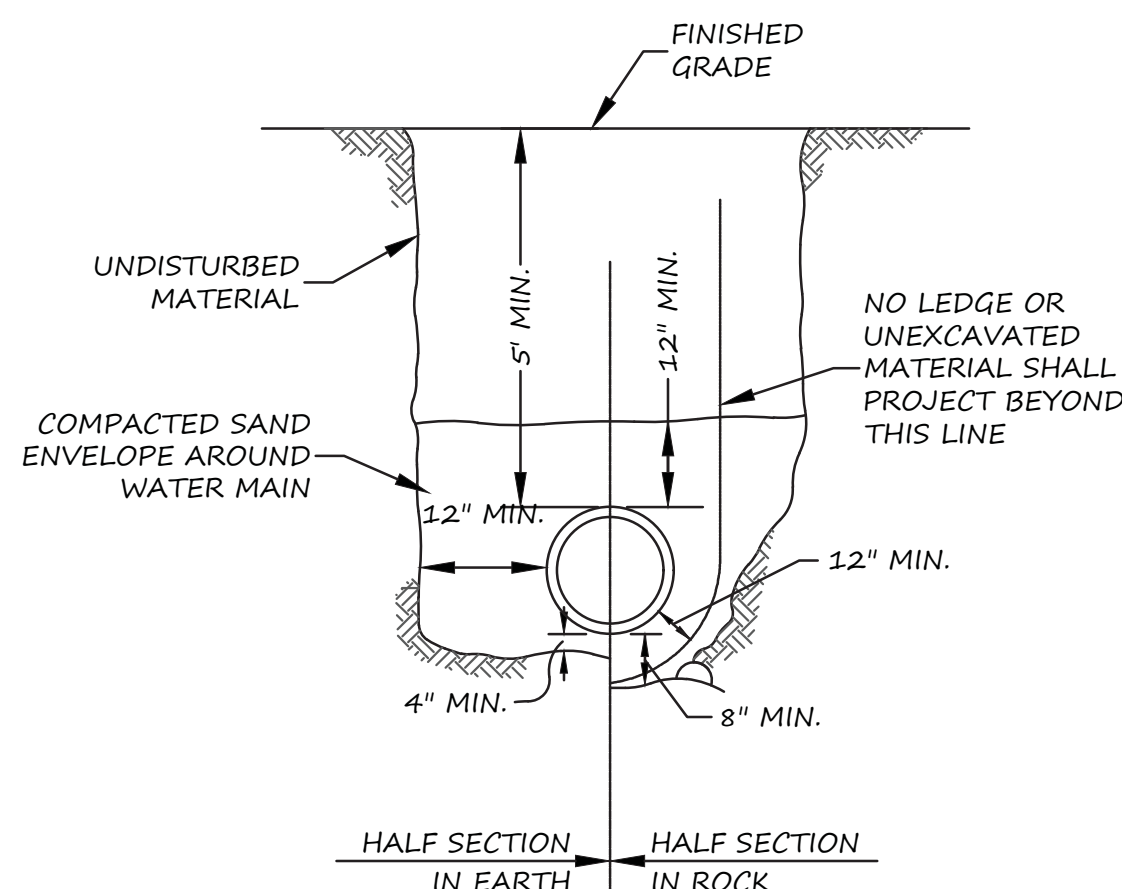
NOT TO SCALE



NOTE: ALL GATE VALVES AND FITTINGS SHALL BE PROVIDED WITH MEGALUG STYLE JOINT RESTRAINTS. TEES AND BENDS SHALL ALSO BE PROVIDED WITH THRUST BLOCKS.

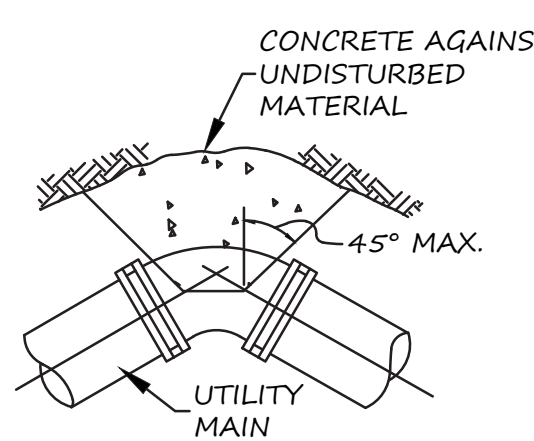
TYPICAL JOINT RESTRAINT DETAIL

NOT TO SCALE

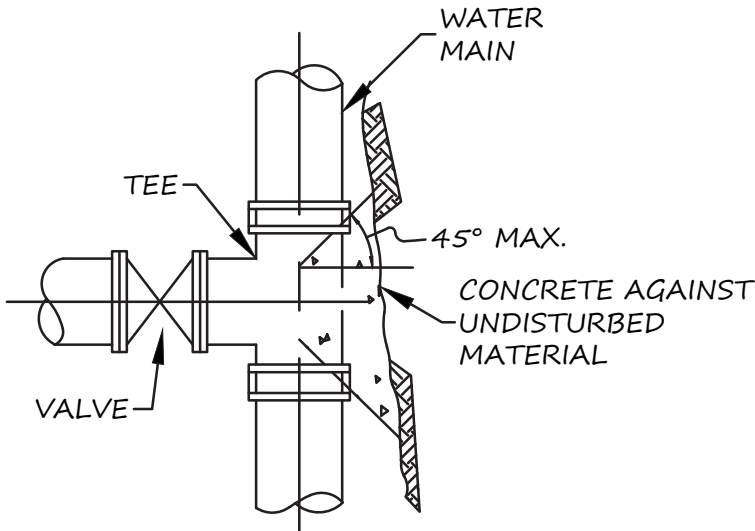


WATER MAIN TRENCH DETAIL

NOT TO SCALE



TYPICAL BEND



TYPICAL TEE

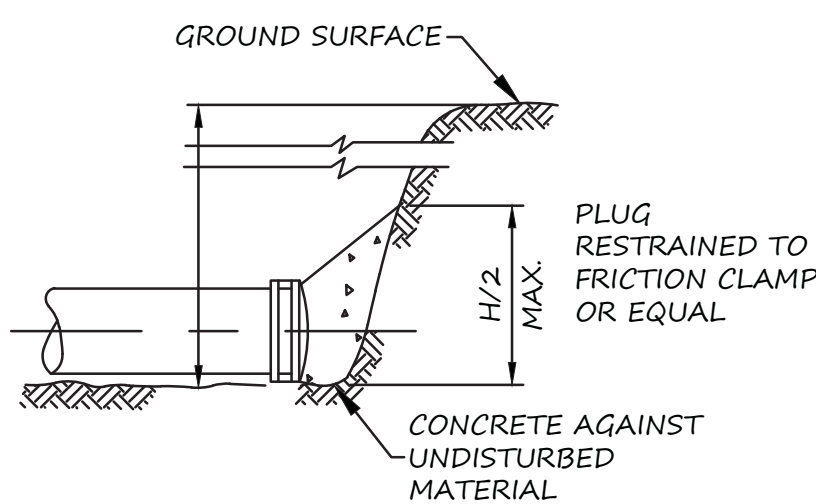
NOTE: CONCRETE FOR THRUST BLOCKS SHALL BE NO LONGER THAT THE RATIO OF 2 1/2 : 5 1/2 AND SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 2000 PSI (SO THAT FLANGES AND BOLTS ARE ACCESSIBLE)

BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND OR LESS	PLUG TEES
2 AND 4	5	5		5
6 AND 8	8	8		8
10 AND 12	22	13	8	16

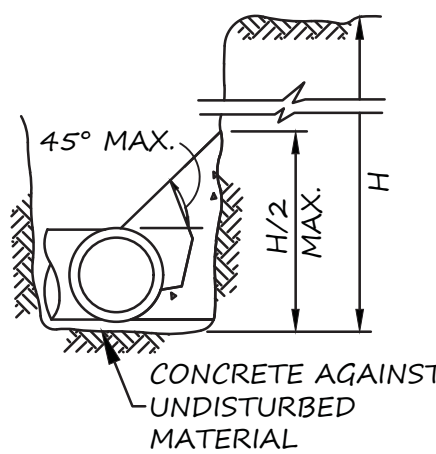
NOTE: TO BE PROVIDED FOR ALL WATER MAINS (IN ADDITION TO MEGALUG JOINT RESTRAINTS) AND LOW-PRESSURE SEWER MAIN AND SEWER FORCE MAIN BENDS.

TYPICAL THRUST BLOCK DETAIL

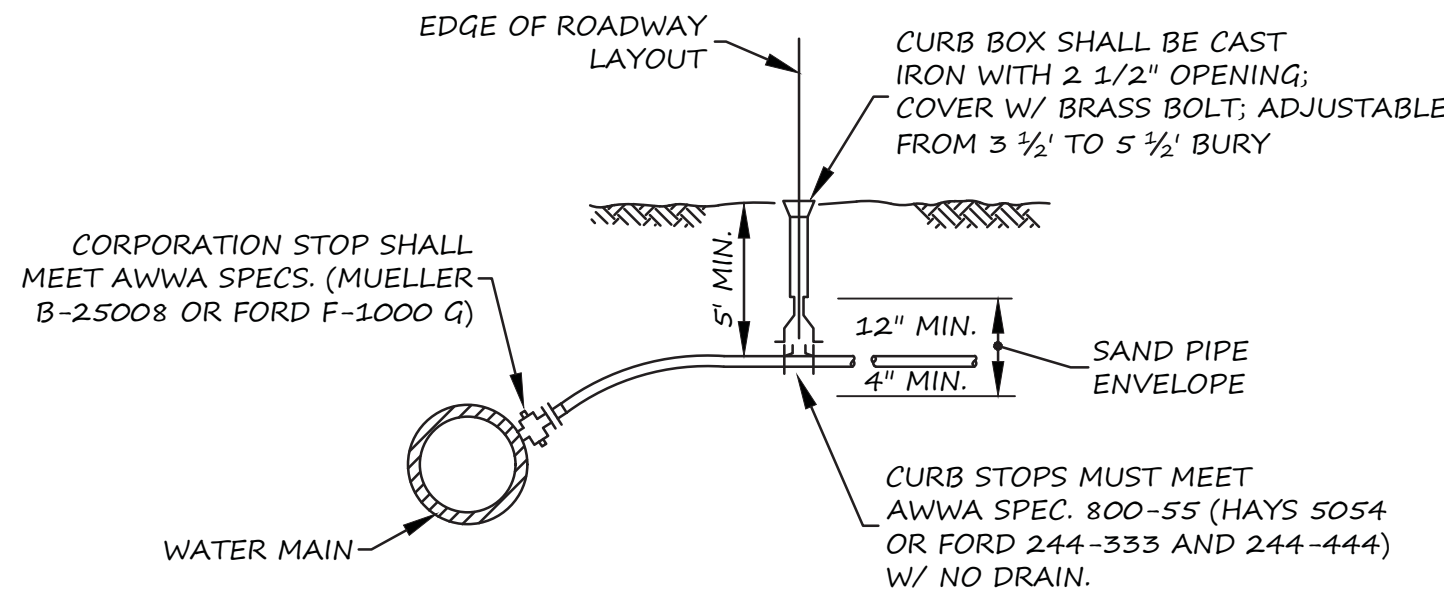
NOT TO SCALE



TYPICAL PLUG



TYPICAL SECTION

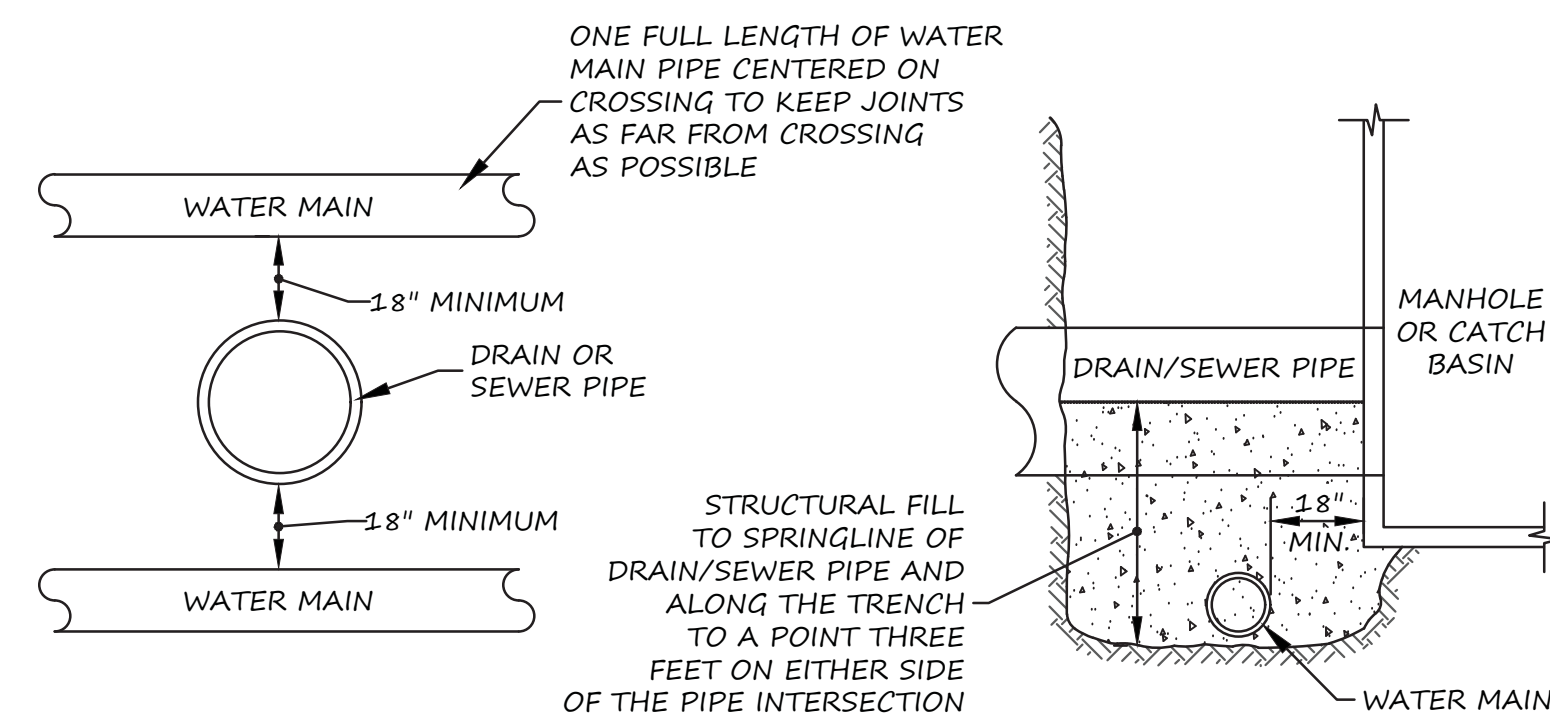


NOTES:

1. COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
2. 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.
3. WATER SERVICE PIPING SHALL BE BEDDED IN COMPACTED SAND, MIN. 4" UNDERNEATH, MIN. 12" ON EITHER SIDE AND MIN. 12" ABOVE.

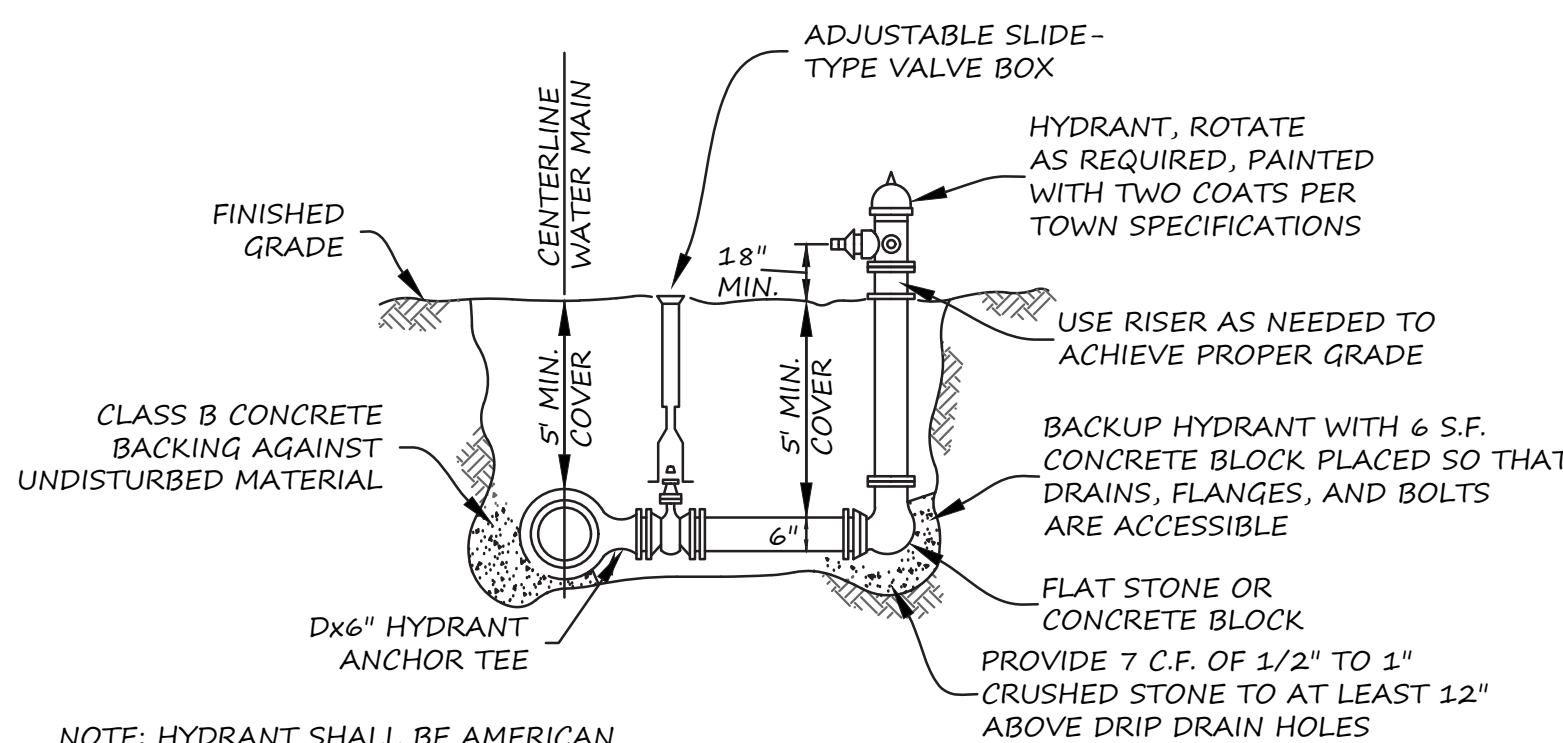
TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



WATER MAIN CROSSING DETAIL

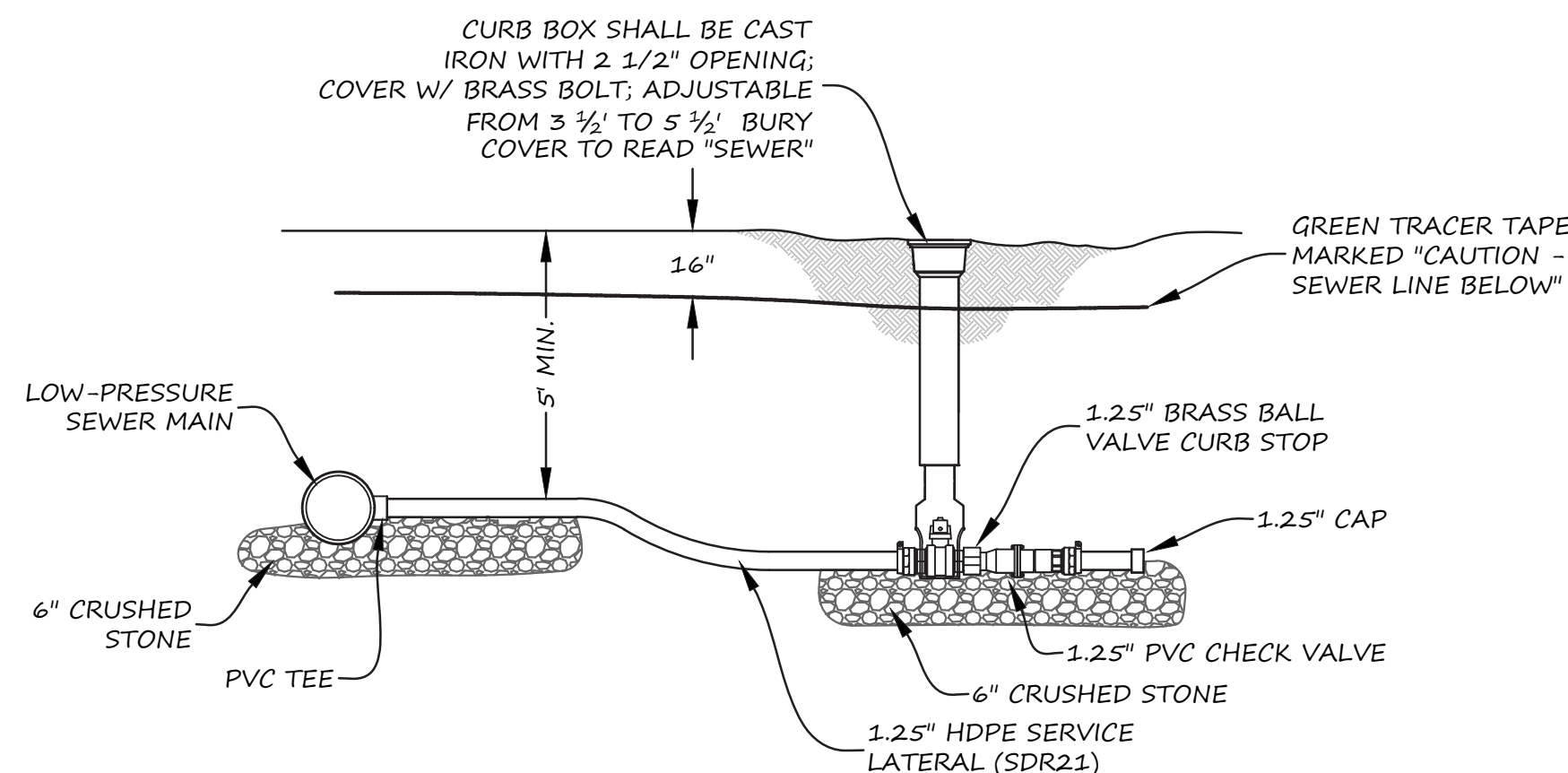
NOT TO SCALE



NOTE: HYDRANT SHALL BE AMERICAN DARLING MODEL B-84 OPEN RIGHT (CLOCKWISE)

TYPICAL HYDRANT ASSEMBLY DETAIL

NOT TO SCALE



LOW PRESSURE SEWER SERVICE LATERAL DETAIL

NOT TO SCALE

ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
GJK LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOWITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

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PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A DECISION FILED WITH THE TOWN CLERK ON JUNE 17, 2020, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TD DEVELOPMENT, LLC ET. AL., DATED _____, AND RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS SIMULTANEOUSLY HERewith. THE REQUIREMENTS OF THE COVENANT RUN WITH THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:35:11 -04'00'

PLAN SCALE: NOT TO SCALE

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2020-05-20	DJM
REVISIONS PER TOWN COMMENTS	2020-06-05	DJM
REVISIONS PER TOWN COMMENTS	2020-08-31	DJM
REVISIONS PER TOWN COMMENTS	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-14	DJM
STREAM #1 STATUS NOTES	2020-09-28	DJM

EMERSON PLACE
DEFINITIVE SUBDIVISION
DETAILS PLAN 5
OF LAND IN
MILLIS, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)
C-35



LEGACY
ENGINEERING

D69-03

SEWER SYSTEM NOTES:

1. REFERENCE TOWN OF MILLIS SEWER CONSTRUCTION GUIDELINES GOVERNING SEWER WORK IN THE TOWN OF MILLIS, MASSACHUSETTS REVISED JULY 2007 (HEREIN THE "MILLIS SEWER STANDARDS")
2. ALL MATERIALS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MILLIS SEWER STANDARDS.
3. UNLESS OTHERWISE SPECIFIED, GRAVITY SEWER MAINS AND SERVICES SHALL BE SDR35 PVC.
4. SERVICE LATERAL LOCATIONS ARE SHOWN APPROXIMATELY AND ARE SUBJECT TO FIELD CHANGE DEPENDING ON ACTUAL SITE CONDITIONS. LATERALS SHALL BE AT LEAST 10 FEET FROM WATER SERVICES.
5. SEWER TESTING FOR ALL SEWER MAINS:
 - 5.1. All debris shall be removed from manholes and shall thoroughly flush from sewers and force mains prior to testing for watertightness. All sewers and force mains, (not including manholes), service connections and sewer laterals constructed shall be tested and shall satisfactorily meet the test requirements prior to final acceptance of the work. An exfiltration, infiltration, or low pressure air tests for gravity sewers and shall perform water pressure test for the force main.
 - 5.2. SEWER LINE MANDREL TESTING: Prior to testing all lines shall be flushed and jetted. A 5% maximum deflection test is required for the PVC mainline pipes after final trench compaction has taken place and 30 days after installation. The test shall be conducted with a rigid mandrel (go no go) device cylindrical in shape and constructed with a minimum of nine or ten evenly spaced arms or prongs. The mandrel shall be hand pulled by the contractor through all sewer lines. Any section of sewer not passing the mandrel shall be uncovered and the contractor shall re-round or replace the sewer at the contractor's expense. The excavation shall be mechanically compacted to a minimum of 95 percent and the pipe retested.
 - 5.3. SEWER LINE TELEVISION INSPECTION OF LINES: All mainline gravity sewer pipes shall be television tested upon completion of all other tests. The testing shall be done by a company specializing in this type of work. The camera shall be drawn through the pipe, with a color image projected upon a color video screen that includes a distance. All services shall be located a distance from the manhole on the tape. All imperfections should be noted on the tape. Two copies of the tape shall be furnished to the Town of Millis. Any misalignments, imperfections, sags, or other unacceptable observations shall be corrected by the contractor. If the line is not flushed properly and requires re-flushing the contractor shall re-visit the line.
6. SEWER MANHOLE TESTING:
 - 6.1. Each manhole shall be tested immediately after assembly and prior to backfilling.
 - 6.2. All lift holes shall be plugged with an approved non-shrink grout. All pipes entering the manhole shall be plugged; taking care to securely brace the plug from begin drawn into the manhole. The test head shall be placed at the inside of the top of the core section and the seal inflated in accordance with the manufacturers recommendations. A vacuum of 10 inches of mercury shall be drawn and the vacuum pump shut off. With the valves closed, the time shall be measured for the vacuum to drop to 9 inches. The manhole shall pass the test if the time is greater than those listed below:

Depth of Manhole 4 and 5 footdiameter	Maximum Allowable Time (sec)
0-10'	60
10-15'	75
15-25'	90

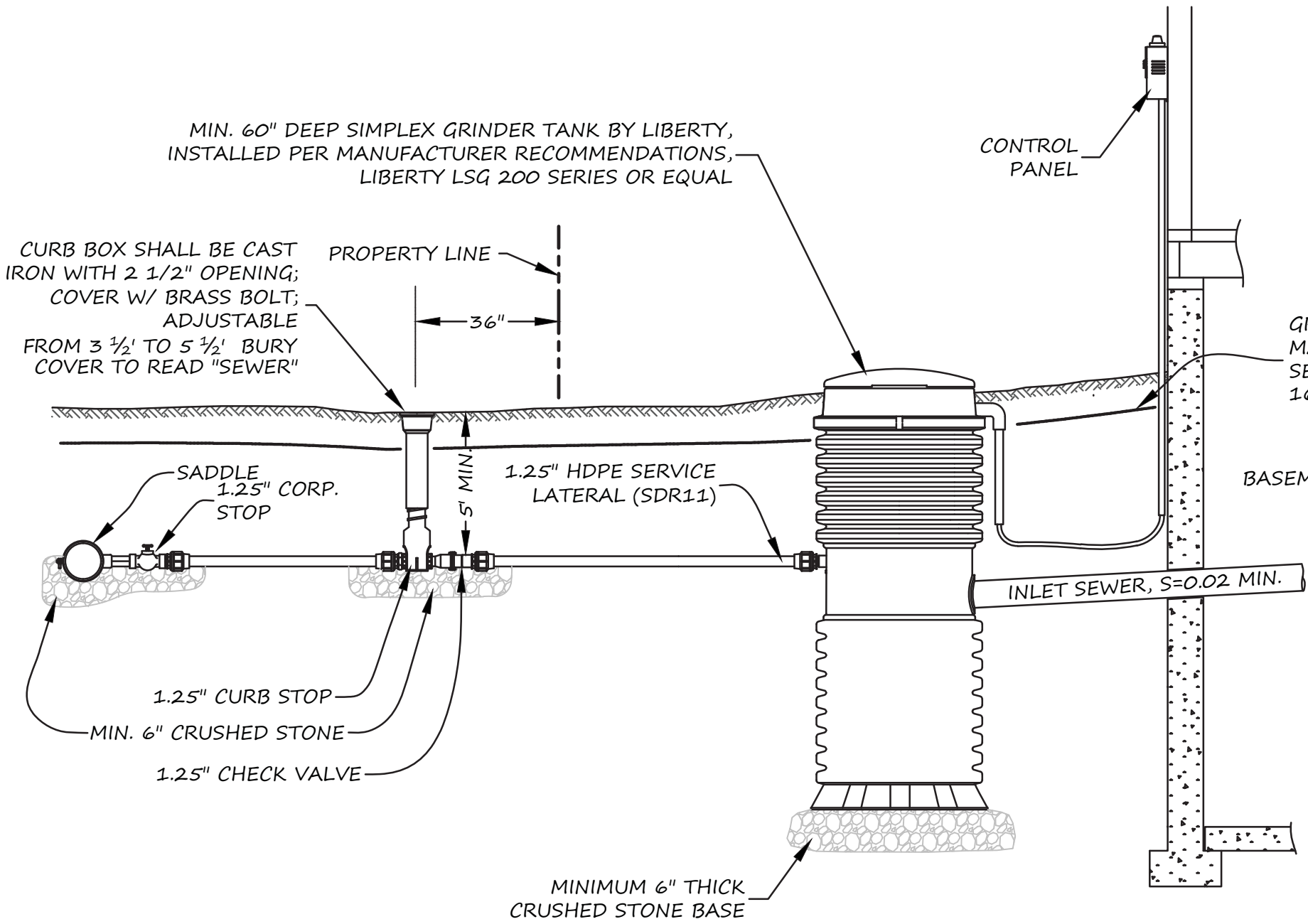
If the manhole fails the initial test, necessary repairs shall be made with a non-shrink grout while the vacuum is still being drawn. Retesting shall proceed until a satisfactory test is obtained. Following satisfactory test results, the manhole may be backfilled.

7. GRAVITY SEWER TESTING REQUIREMENTS (LOW-PRESSURE AIR TEST):

- 7.1. The low pressure air test shall be performed with AIR-LOC equipment manufactured by Cherne Industrial Inc., Hopkins, Minnesota; New Britain Prod., New Britain, Pa., or equal
- 7.2. All wyes, tees, or ends of lateral stubs, shall be capped to withstand the internal test pressures. Caps shall be easily removable for future lateral connections or extensions.
- 7.3. After a manhole-to-manhole section of sewer has been backfilled and cleaned, it shall be plugged at each manhole with pneumatic plugs. The pneumatic plugs shall be such that they will hold against the line test pressure without requiring external blocking or bracing. One of the plugs shall have three hose connections. Air for inflation of the triple connection pneumatic plug shall be supplied through a factory-equipped control panel. One hose shall be used for inflation of the plug. The second hose shall be used for continuously reading the air pressure in the sealed line. The third hose shall be used for introducing low pressure air into the sealed line.
- 7.4. There shall be a 3 1/2" or larger diameter, 0-30 psi gauge mounted on the control panel for reading of the internal pressure in the line being tested. Calibrations from 0-10 psi shall cover 90% of the complete dial range.
- 7.5. Low pressure air shall be introduced into the sealed line until the internal air pressure reaches 4 psi greater than the average backpressure of any ground water that may be over the pipe. At least two (2) minutes shall be allowed for the air pressure to stabilize. After the stabilization period, the third hose shall be quickly disconnected from the control panel.
- 7.6. The portion of line being tested shall be accepted if the portion under test does not lose air at a rate greater than 0.003 cfm per square foot of internal pipe surface when tested at an average pressure of 3.0 psig greater than any back pressure exerted by ground water that may be over the pipe at the time of the test.
- 7.7. The requirements shall be accomplished by performing the test as follows: The time required in minutes for the pressure to decrease from 3.5 to 2.5 psig (greater than the average back pressure of any ground water over the pipe) shall not be less than the time shown for the given diameters in the following tables:

Pipe Diameter in Inches	Minutes
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5
18	8.5
21	10.0
24	11.5

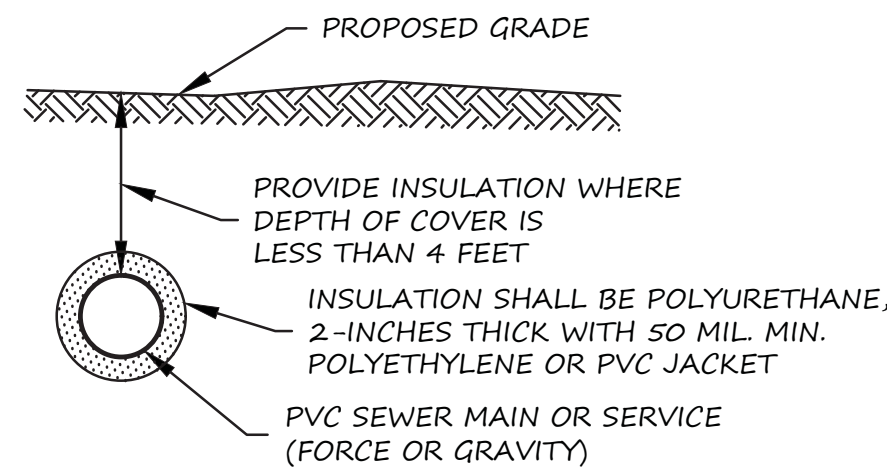
- 7.8. In areas where ground water is known to exist, a one-half inch diameter capped pipe nipple, approximately 10" long, shall be installed through the manhole. This shall be done at the time the sewer line is installed. Immediately prior to the performance of the line acceptance test the ground water level shall be determined by removing the pipe cap, blowing air through the pipe nipple into the ground so as to clear it, and then connecting a clear plastic tube to the pipe nipple. The hose shall be held vertically and a measurement of the height in feet of water shall be taken after the water stops rising in this plastic tube. The height in feet shall be divided by 2.3 to establish the pounds of pressure that will be added to all readings.
- 7.9. If leakage exceeds the specified amount make the necessary repairs or re-placements required to permanently reduce the leak-age to within the specified limit, and the test shall be repeated until the leakage requirement is met.
8. LOW-PRESSURE SEWER TESTING REQUIREMENTS (FORCE MAIN PRESSURE TEST):
 - 8.1. The section of pipe to be tested shall be filled with water of approved quality, and all air shall be expelled from the pipe.
 - 8.2. For the pressure test, by pumping, raise the water pressure (based on the elevation at the lowest point of the section under test and corrected to the gauge location) to a pressure in pounds per square inch numerically equal to the class rating of the pipe. If the pressure cannot be maintained for a period of one hour, the section under test shall be considered as having failed the pressure test.
 - 8.3. Following a successful pressure test, perform a leakage test by metering the flow of water into the pipe while maintaining in the section being tested a pressure equal to the average pressure to which the pipe will be subjected under normal conditions of service. This shall be done by placing the section under system pressure or by pumping. If the average leakage during a 12 hour period exceeds 75gallons per inch diameter per mile of pipe per day, the section shall be considered as having failed the leakage test.
 - 8.4. The lengths of joint to be used in determining the allowable leakage shall be based on the nominal diameter of the pipe.
 - 8.5. If the section fails to pass the pressure test, the leakage test, or both, everything necessary to locate, uncover, even to the extent of uncovering the entire section, and repair or replace the defective pipe, fitting, or joint shall be done.



- NOTES:
1. ALL INSTALLATION IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 2. SLOPE THE LOW-PRESSURE SEWER LATERAL CONTINUOUSLY UPHILL TO SEWER MAIN WHERE POSSIBLE.

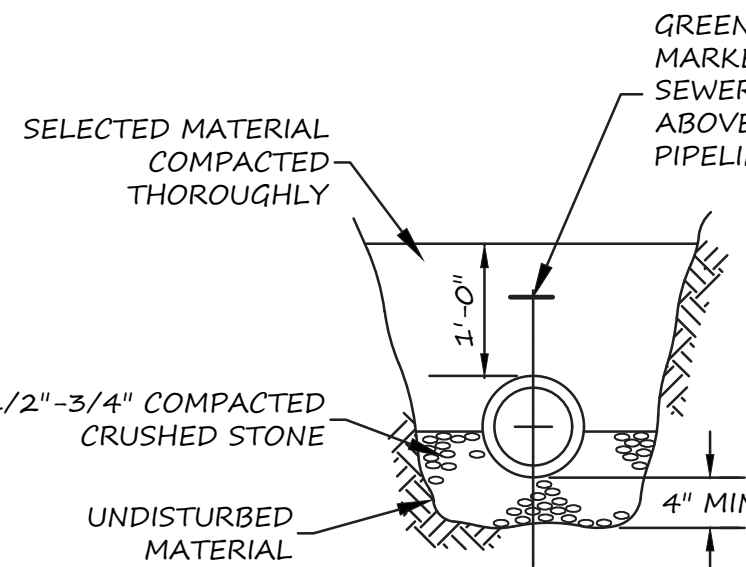
LOW-PRESSURE SEWER PUMP SYSTEM DETAIL

NOT TO SCALE

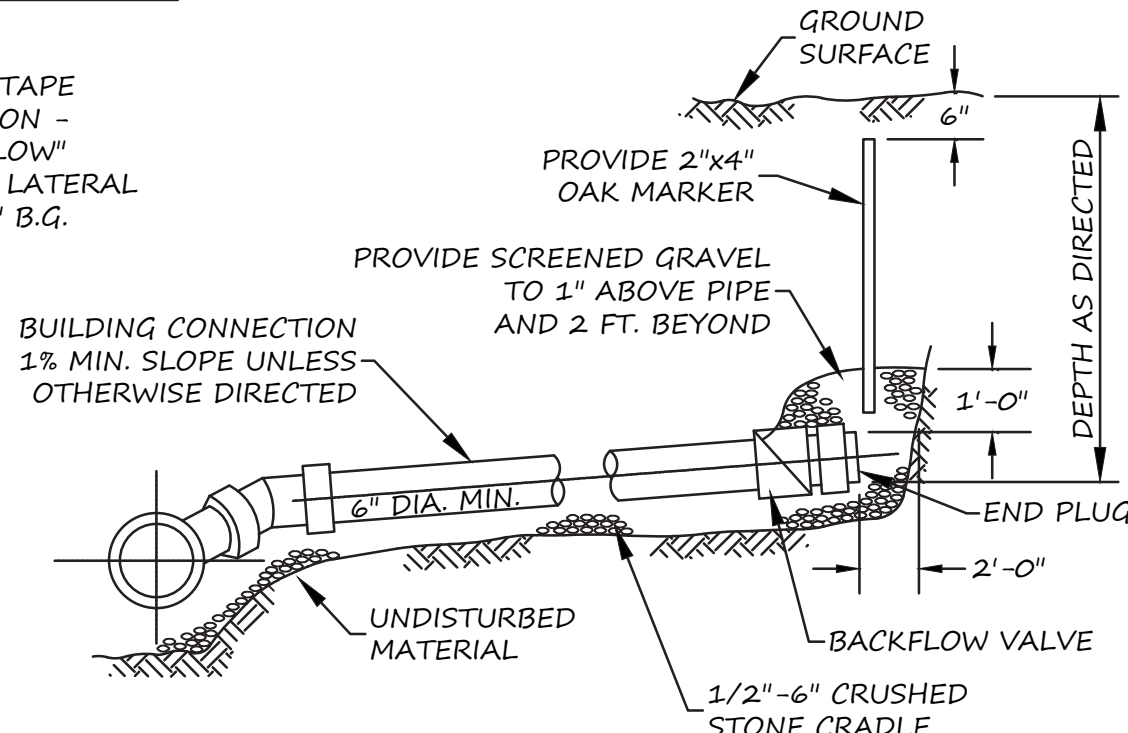


TYPICAL SEWER INSULATION

NOT TO SCALE



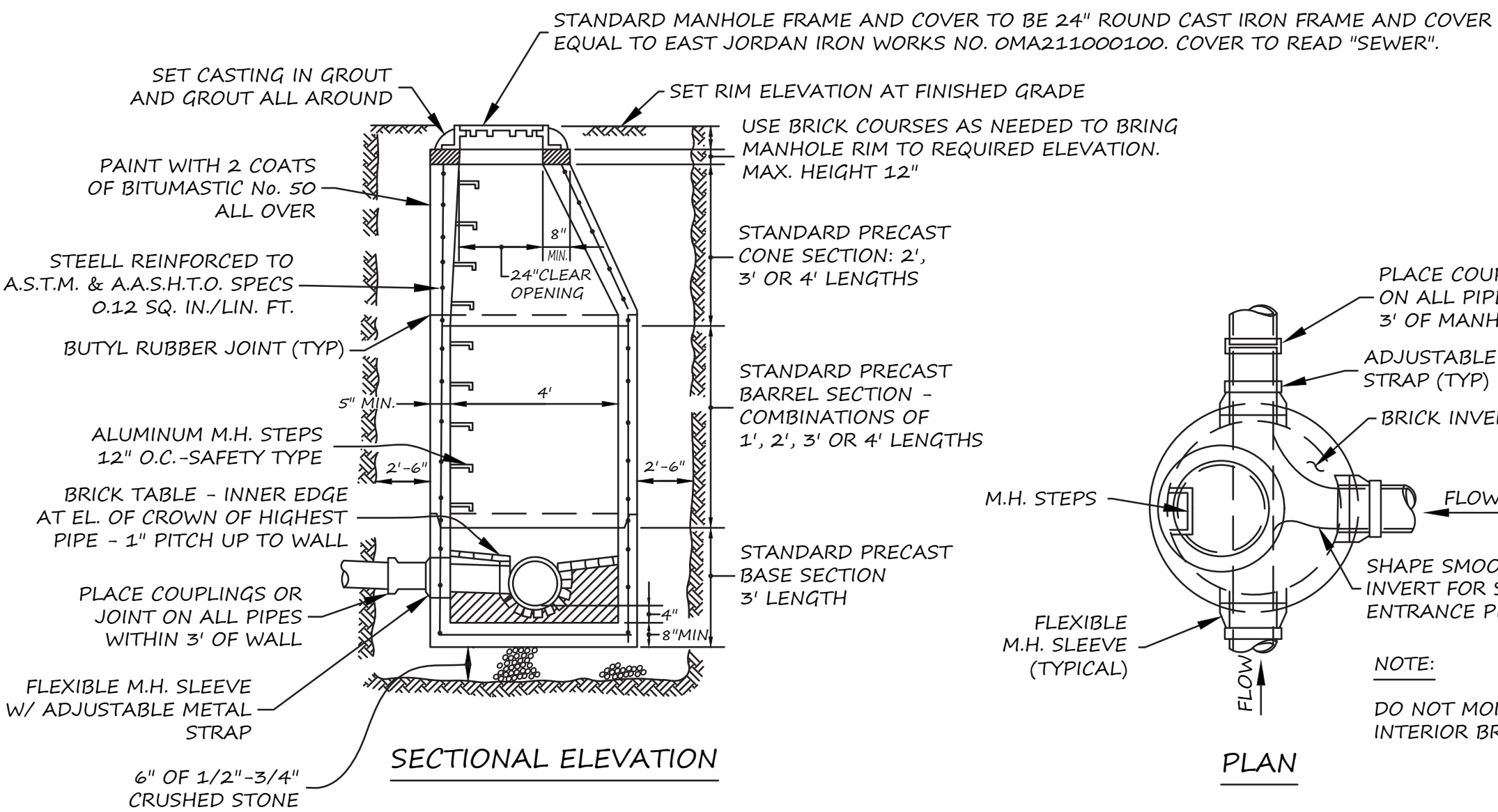
SECTION B-B



SECTION

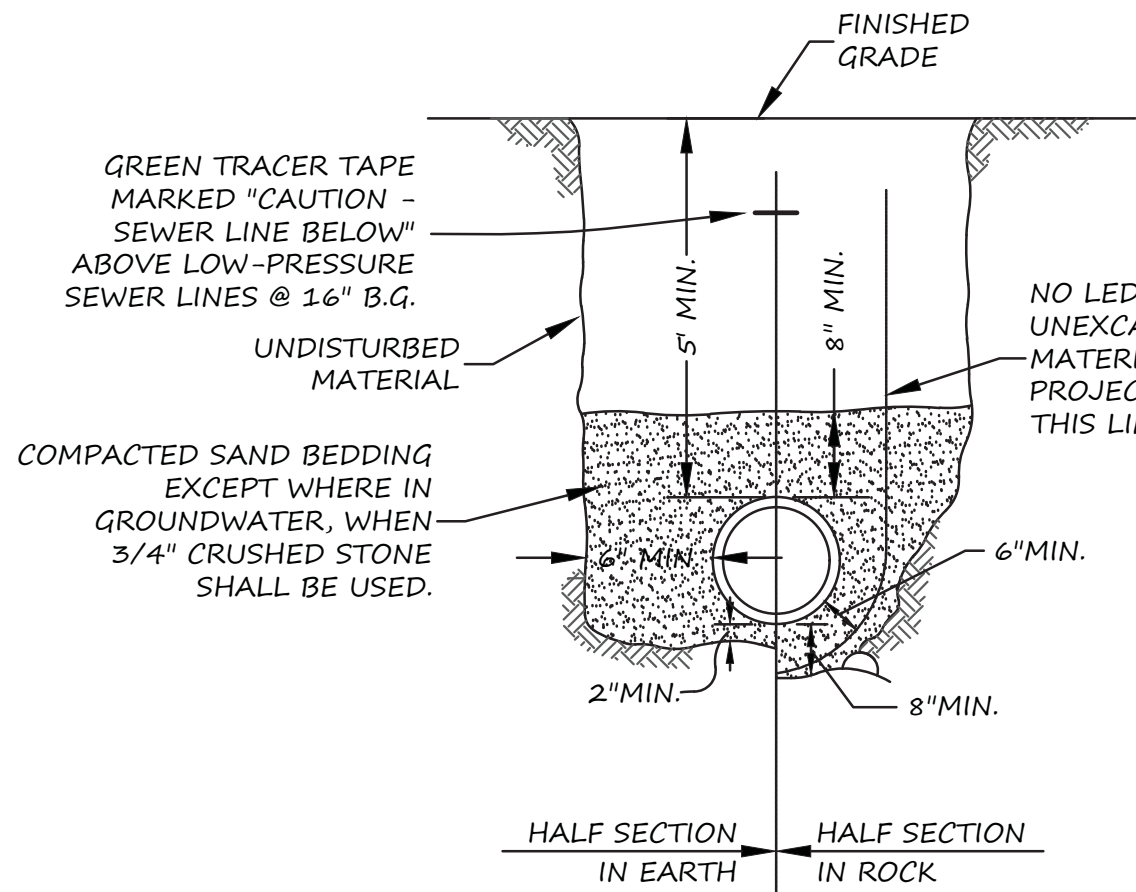
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TYPICAL BUILDING SEWER SERVICE CONNECTION



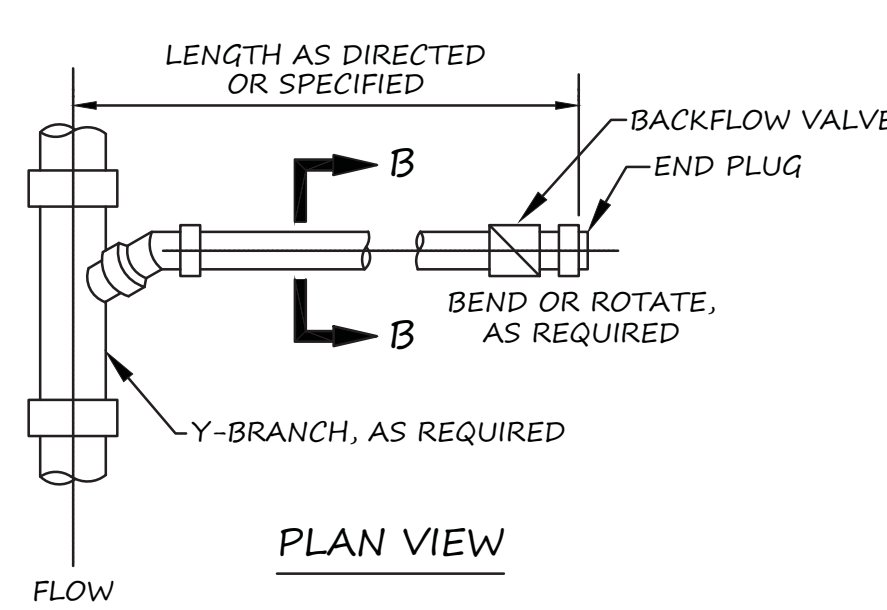
TYPICAL PRECAST CONCRETE MANHOLE DETAILS

NOT TO SCALE



LOW-PRESSURE SEWER TRENCH DETAIL

NOT TO SCALE



PLAN VIEW

ZONING DISTRICTS
RESIDENTIAL R-S
SPECIAL FLOOD HAZARD (SFH) DISTRICT
ZONE C
WATERSHED PROTECTION (WP) DISTRICT

ASSESSORS PARCELS & OWNERS

15-66
G&K LLC
107 GREAT PLAIN AVENUE
WELLESLEY, MA 02481

20-25
RIDGE STREET TRUST
21 PRENTISS PLACE
MEDFIELD, MA 02052

20-26, 20-28
PETER HARCOVITZ
256 ORCHARD STREET
MILLIS, MA 02054

20-27 & A PORTION OF 20-53
TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH MA, 02360

A PORTION OF 23-04
JOSEPH FAWKES & AMY FURNIA
18A RIDGE STREET
MILLIS, MA 02054

APPLICANT

TD DEVELOPMENT LLC
38 BENJAMIN'S GATE
PLYMOUTH, MA 02360

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE SURVEYS RELATED TO THIS PLAN CONFORM TO THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

PROFESSIONAL LAND SURVEYOR

■ INDICATES BOUND TO BE SET

APPROVED BY VOTE ON JUNE 9, 2020 WITH A DECISION FILED WITH THE TOWN CLERK ON JUNE 17, 2020, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY TD DEVELOPMENT, LLC ET. AL., DATED _____, AND RECORDED IN THE NORFOLK COUNTY REGISTRY OF DEEDS SIMULTANEOUSLY HERewith. THE REQUIREMENTS OF THE COVENANT RUN WITH THE LAND.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK _____ DATE _____

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MILLIS PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-36

D69-03



LEGACY
ENGINEERING



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2020.09.30 12:39:29 -04'00'

PLAN SCALE: NOT TO SCALE

PLAN DATE: FEBRUARY 12, 2020

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EMERSON PLACE
DEFINITIVE SUBDIVISION
DETAILS PLAN 6
OF LAND IN
MILLIS, MA