

Town of Millis

Police & Fire Station Project

MONTHLY PROGRESS REPORT

Report No. 9

FEBRUARY, 2016



MILLIS POLICE STATION
19416.01
03/2015

PERSPECTIVE VIEW



CDR MAGUIRE

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Executive Summary – Project Overview:

- Work continues utilizing winter protection providing ground thaw units and insulating blankets at floor slabs, and heated enclosures for Mason.
- The final section of floor slab was placed and each time covered with heating tubes and insulating blankets until the 7-day cure was obtained.
- The slab was inspected by Briggs Engineering for “flatness and levelness” tolerances and found to be within limits.
- The pre-fabricated wall panels were delivered and installed by Agostini crews. Plates and tie down anchors were also installed in preparation for roof truss installation.
- The Tower components were delivered and installed to a point needed to attach roof trusses.
- The Masonry contractor has mobilized and is underway with exterior & bearing walls.
- The Electrical contractor is roughing in conduits; the plumber is roughing in toilet rooms; and preparation being made for duct and louver openings.
- Discussions continue regarding the seismic monitoring of the Neighbor’s house at 1005 Main Street. Next steps include selecting a mutually acceptable structural engineer and perform a photographic survey of the house.
- The record of the filing of the deed restriction for the MFD second floor has been forwarded to CDR who will obtain the necessary waiver from the Architectural Access Board.
- The Site contractor has demobilized until spring.

Issues or Concerns:

- Concerned about the increasing costs to perform work under winter conditions. Approximately \$23,000 has been expended of the additional \$60,000 approved via Change Order #5. These costs will be monitored closely in the coming weeks.
- Moisture mitigation of the concrete slab to achieve required moisture & humidity levels was a topic of a special meeting held on site. Flooring subs provided their required moisture limits of 75% & 90% for various finishes. The team agreed these are unlikely unachievable without some overlay. Agostini is researching several options whose estimated cost is between \$25 & \$35,000. These costs are still below the cost of the “Barrier One” concrete additive value-engineered out of project for \$60,000 earlier. The PM also directed CDR to eliminate any “fly-ash” from the concrete design as previous projects have identified this as contributing to moisture retention in the slab and causing flooring adhesive failures. CDR acknowledged it would be prohibited, but still allowed it in the concrete.

Schedule Status:

- The revised Construction Schedule issued 12/31/15 by the CM now shows a 11/3/16 completion date for the Police Station ; and a 5/3/17 completion for the Fire Station.
- Some Saturday work has been performed to help expedite the schedule. The team will continue to evaluate tasks that may benefit from premium time work.
- Agostini is looking into accelerating work within MFD apparatus bays and will submit a proposal soon.
- Last month's two-month "Look Ahead" schedule prepared by the Contractor did not realistically forecast masonry, wall panel and truss installations. Those tasks are now three weeks behind those predictions primarily due to winter conditions and some lost work days due to extreme weather.
- The current (2-24-16) Contractor's two-month "Look Ahead" schedule reflects a recovery of lost work days with no change in the completion dates. In fact, if the work at MFD is advanced as being discussed, schedule could reflect a sooner completion date for that phase of the project.
- Highlights of the "Look Ahead" show exterior masonry complete by Mar 4th. (unlikely); wood trusses complete by Mar 16th. ; asphalt roof shingles by Apr 19th.; windows by May 10th.; building tight to weather by May 11th.; sheetrocking int walls by June 2nd.;

Budget Status:

- The GMP remains at **\$8,210,710.48** through Change Order #4
- The Contractor has submitted his 8th payment application in the amount of **\$377,272.** making his total billed to date **\$2,098,000** which reflects 27% billed, while using 48% of the contract time.(primarily due to contamination delay)
- Change Order #5 for replacing organic soils and partial costs of winter conditions is pending Board of Selectmen approval
- The PM has updated the Change Order Log to reflect both approved and pending change order requests.
- Transfers are being made from the appropriated Contamination Clean-Up funds into the Construction budget as those costs are incurred.
- The PM has maintained a Remediation Cost Report tracking these expenditures.
- CDR Maguire will be submitting a proposed Contract Amendment #6 for the additional Asbestos monitoring duration performed by Axiom during abatement for the amount of \$3811.
- The PM has identified some items carried within Agostini's General Conditions that will likely not be required for the project and can be credited back to the Owner at the end of the project.
- The Contractor has also obtained some savings during his "buy-outs" that could result in credits to Owner in the approximate amount of \$40,000.
- The Contractor's Contingency has had some items approved for payment which included \$10,050 buy-out miss for Storefront hardware; \$5813 costs associated with unanticipated two slab pours; and \$550 for expediting a shipment to benefit the project.

Highlights of Construction Activities:

- Slabs were completed on Feb 2nd.
- Mason mobilized and began enclosures on Feb. 4th.
- Masonry exterior walls were started Feb. 12th.
- Wall panels began Feb. 17th
- Exterior masonry walls for front segment of building was completed Feb. 24th.
- Tower section & gable walls at front segment were set Feb. 26th

Manpower Summary:

Slabwork crew included (1) foreman (1) pump operator (3) finishers (5) laborers

Plumbing crew includes (1) plumber

Electrical crew includes (1) electrician

Carpentry crew includes (1) foreman (2) carpenters (1) apprentice (1) labor foremen

Masonry crew includes (1) foreman (2) masons (1) labor foreman (1) laborer

PHOTOS



FINAL SLAB POUR SHOWING CURING METHODS 2-3-16



MASON'S TEMPORARY ENCLOSURE 2-12-16



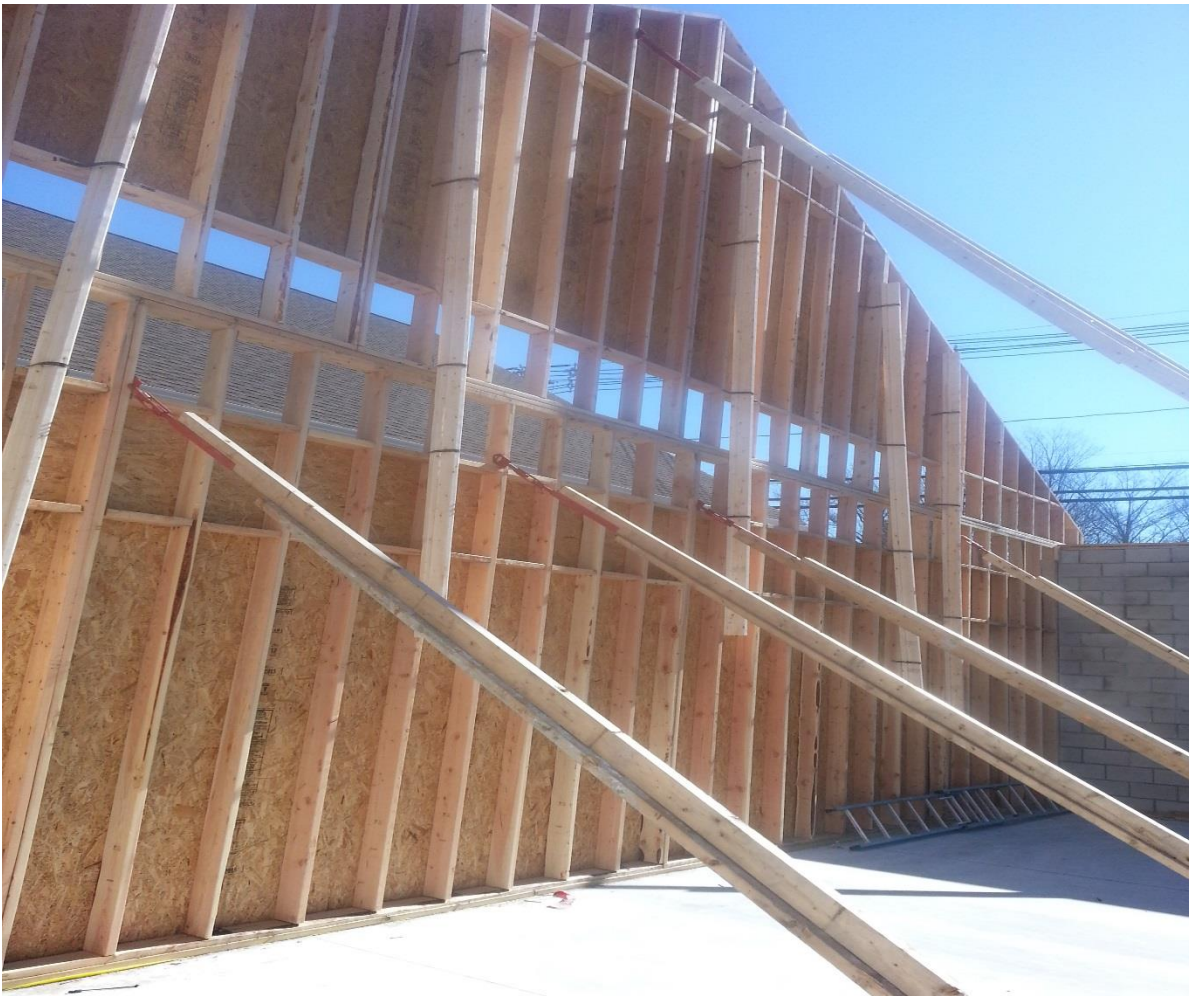
PRE-FABRICATED WALL PANEL DELIVERY 2-16-16



FRONT EXTERIOR MASONRY WALL COMPLETE 2-24-16



TOWER SHEAR WALLS IN PLACE 2-24-16



GABLE WALL PANEL INSTALLATION 2-25-16



INTERIOR SHEAR WALLS 2-25 -16



FRONT WALL WITH TOWER ERECTION UNDERWAY 2-26-16



STATE OF PROJECT AS OF 2-29-16

