

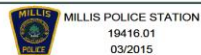
Town of Millis

Police & Fire Station Project

MONTHLY PROGRESS REPORT

Report No. 8

JANUARY, 2016



PERSPECTIVE VIEW



Prepared by:

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Executive Summary – Project Overview:

- All of the discovered organics below all bearing surfaces has been removed and replaced with structural fill.
- Underslab utilities have been installed, backfilled and inspected.
- Winter conditions resulted in the need to provide ground thawing units and insulating blankets to prevent frost and cure floor slabs.
- The installation of the geo-grid as recommended by CDR Maguire was installed under the 4" thick slab areas.
- The vapor barrier and slab reinforcing was placed making ready for slab installation.
- The first section of floor slab was placed and each time covered with heating tubes and insulating blankets until the 7-day cure was obtained.
- Two of the sub-surface infiltration systems to collect roof water have been installed.
- The remainder of the site has been rough-graded and made travelable for the entire perimeter. The Site subcontractor has now demobilized for winter.
- Briggs Engineering provided seismic monitoring of the Neighbor's house at 1005 Main Street for (17) days. Those results indicated no vibrations were in the range that could cause damage. In fact, background vibrations were higher than those of the construction equipment.
- Next steps include obtaining the services of an independent neutral third party structural engineer to evaluate the home for damage. To date, no damage has been reported by the Neighbor.
- Town Counsel recorded the required deed restriction stipulating the MFD second floor will only be used for able-bodied firefighters so the waiver from the Architectural Access Board can be obtained by CDR.

Issues or Concerns:

- Concerned about the increasing costs to perform work under winter conditions. Another \$60,000 was approved to fund the labor, materials, equipment and fuel to deal with winter protection, but harsher conditions may prove these continuing efforts to become fruitless.

Schedule Status:

- The revised Construction Schedule issued 12/31/15 by the CM now shows a 11/3/16 completion date for the Police Station ; and a 5/3/17 completion for the Fire Station.
- Some Saturday work has been performed to help expedite the schedule. The team will continue to evaluate tasks that may benefit from premium time work.
- Agostini is looking into accelerating work within MFD apparatus bays and will submit a proposal soon.
- The schedule is being revised by Agostini and will be presented to PBC at next meeting.
- The current Contractor's two-month "Look Ahead" schedule reflects exterior masonry walls starting Jan 14th, but now pushed off to Feb 1st., but this is also unlikely. Panelized wood exterior walls were to be completed by Jan 29th, but have not been fabricated. Wood trusses are approved, but not released for fabrication with a scheduled installation completion date of Feb. 10th.

Budget Status:

- (4) Contract Change Orders in the amount of \$731,401.48 have been approved. The revised GMP is now **\$8,210,710.48**
- The PM has updated the Change Order Log to reflect both approved and pending change order requests
- Transfers are being made from the appropriated Contamination Clean-Up funds into the Construction budget as those costs are incurred.
- The PM has maintained a Remediation Cost Report tracking this expenditures.

Highlights of Construction Activities:

- Underslab utilities were completed on Jan 19th.
- Backfilling of interior slab areas was completed on Jan 27th. and tested for compaction by Briggs technicians.
- The installation of the passive, underslab venting system was completed and inspected
- Concrete floor slab completed Jan 26th and the final section planned for Feb 2nd

Manpower Summary:

Sitework contractor included (1) foreman/operator, (1) operator, (1) laborer

Formwork crew includes (3) carpenters and (1) laborer

Plumbing crew included (3) plumbers

Electrical crew included (1) electrician

Slab Crew included (1) foreman, (3) finishers, (6) laborers, (1) operator

PHOTOS



UNDERGROUND ELECTRICAL UTILITIES 1-20-16



UNDERGROUND PLUMBING LINES 1-4-16



UNDERGROUND TELE /COMM SERVICE 1-4-16



INSTALLING GEO-GRID 1-10-16



INSTALLING GEO-GRID 1-11-16



GROUND THAW UNIT & SETTING OUT HEATING TUBES 1-15-16



HAUNCH REINFORCING, HEATING TUBES 1-20-16



SLAB REINFORCING 1-28-16



WINTER PROTECTION 1-22-16



WINTER PROTECTION 1-26-16



PLACING CONCRETE SLAB 1-26-16



STATE OF PROJECT AS OF 1-29-16