

Town of Millis

Police & Fire Station Project

MONTHLY PROGRESS REPORT

Report No.18

NOVEMBER, 2016



MILLIS POLICE STATION
19416.01
03/2015

PERSPECTIVE VIEW



CDR MAGUIRE

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Executive Summary – Project Overview:

Millis Police Station

- Crews have completed punch list items and training for MPD staff
- Remaining work authorized by Change Orders includes attic access platform & stair and ventilation for electrical room – both scheduled for mid-December.
- The recommendations of our Commissioning agent have been approved for installation in December.
- Some warranty work have also been identified by MFD staff and being addressed by Agostini & their subcontractors.

Millis Fire Station

- Apparatus Bay has been substantially completed awaiting new OH doors and some minor HVAC work. The epoxy floor finish will be performed nearer the end of the project.
- Sitework crews have installed the new fire-service water line and connected the building sewer. Any abandoned lines were removed or capped.
- Sitework crews discovered and repaired a significant amount of broken drainline which will have new connections to gutter downspouts.
- Sitework crews also completed work on existing drywell and finished the easterly sideyard crushed stone.
- Underground Plumbing is complete and inspected. Issues with uncertain sewer line locations has been resolved. Crews scoped all lines and removed or capped any abandoned piping.
- Several items have been directed by Plumbing Inspector, including replace corroded flange on water meter assembly, re3pair existing domestic backflow preventer, add floor drain in second floor toilet room and insulate all existing HW piping.
- Electrical roughing is complete and inspected at second floor and secondary cabling is well underway.
- The underground electrical/communication ductbank has been installed and wires pulled. Eversource expects permanent power will be activated mid December.
- HVAC sub has installed all rooftop and air-handling equipment, most of the refrigerant and HW piping. CUH's are onsite awaiting installation.
- The Controls sub has roughed his wiring and located devices.
- Sprinkler sub has installed and tested second floor & Apparatus zones, and working on first floor Admin area. The service main has also been extended into the building.
- Carpenters are installing new roof trim, soffits and exterior siding & trim.
- Second floor ceiling has been insulated and crews will spray-foam walls soon.
- Interior partitioning nearly complete at all areas and drywall will be installed soon.
- Areas of existing roofs were evaluated and determined that replacement was required. Therefore, approval has been provided to provide new roofs at all areas.

Issues or Concerns:

- The concern over possible structural damage reported last report has now been completed and summarized in upcoming COR. The extent of the remedial work was much more than initially expected.
- Portions of exterior masonry identified by Millis PM in last report, will receive the needed remedial work including re-pointing, installation of control joints, certain bricks replaced, existing metal fasteners removed, new precast lintels installed, etc.
- The Millis PM maintains a Corrective Action Log listing any items needing remedial work which is reviewed with the team at each meeting.

Schedule Status:

- There has been some lost time incurred at MFD due to many changes in the work due to unforeseen. Therefore, the scheduled turn-over for the Apparatus Bay was delayed.
- Agostini has updated their Construction Schedule to reflect these impacts, which now shows a completion date of April 24, 2017.

Budget Status:

- The GMP is now **\$8,772,255.48** through Change Order #20.
- COR's for other additional work will be submitted for approval and be presented as Change Orders #21 and #22 this month.
- The Contractor's payment application #17 will be submitted in the amount of \$656,680.22. which will reflects 85% completion.
- The PM has updated the Change Order Log to reflect both approved and pending change order requests.

Manpower Summary:

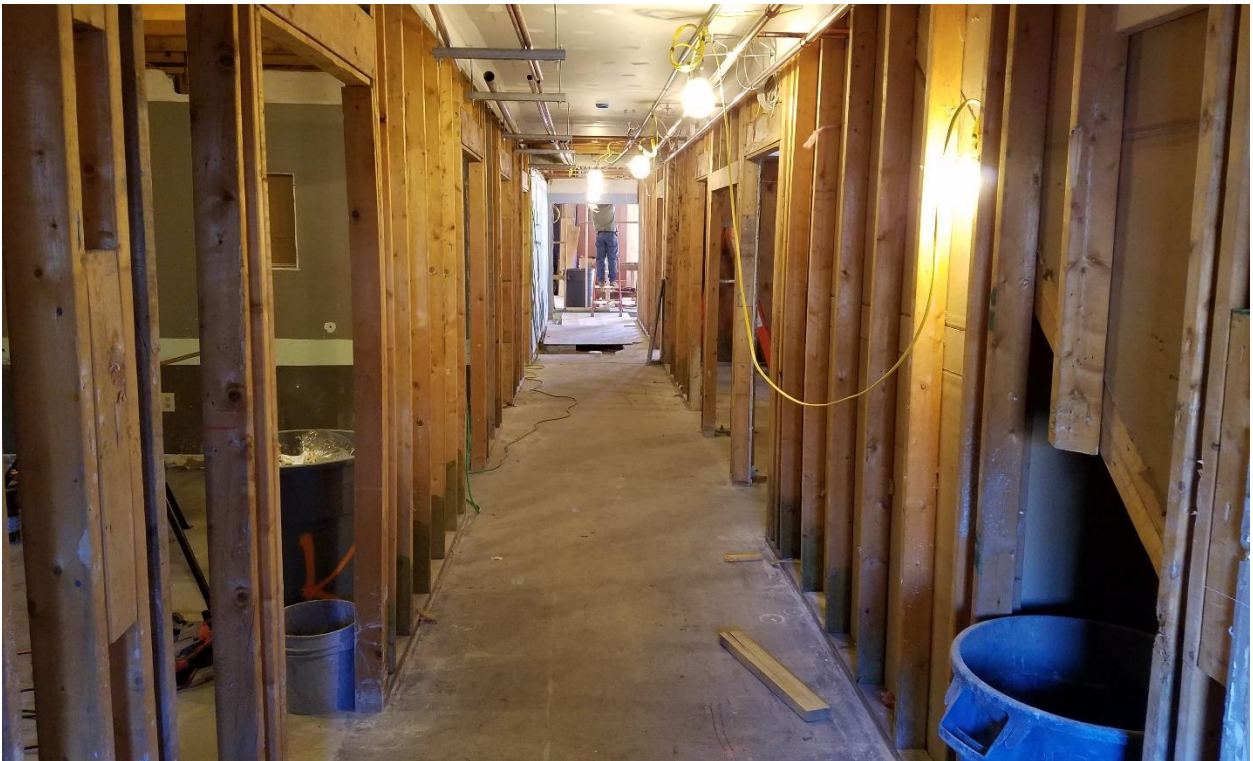
Crew size for November ranged 15 – 24 men per day, averaging 18 men per day and included:

- (4) Carpenters
- (2) Laborers
- (2) Equipment Operators
- (4) Electricians
- (2) Plumbers
- (2) Sprinkler fitters
- (4) HVAC workers
- (2) Insulators
- (2) Sheetrockers
- (1) Painter
- (2) Masons
- (5) Demolition workers
- (4) Roofers

PHOTOS



NEW INTERIOR CMU WALL in APPARATUS BAY 11-7-16



ADMINISTRATION CORRIDOR looking South 11-7-16



NEW CMU OPENING TO DECON 11-16-16



PLACING NEW CONCRETE APRON 11-8-16



NEW ALUMINUM WINDOWS INSTALLED 11-1 -16



BRICK INFILL AT ABANDONED OPENINGS 11-18 -16



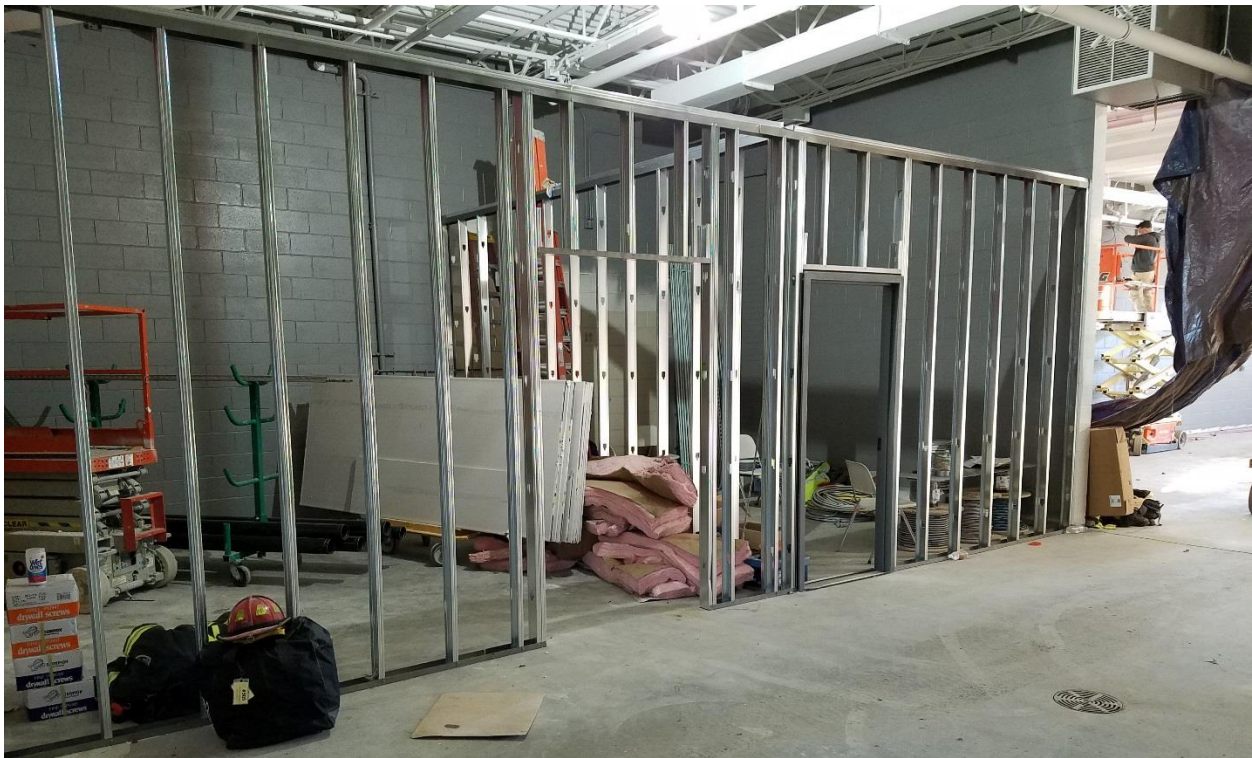
NEW UNDERGROUND PLUMBING 11-2 -16



INSULATION OF FORESTRY GARAGE AREA 11-2 -16



NEW SECOND FLOOR PARTITIONING 11- 2 -16



NEW FIRST FLOOR PARTITIONING 11-23 -16



MAIN ELECTRICAL ROOM PANEL TUBS SET 11-21 -16



UNDERGROUND ELECTRICAL & COMMUNICATIONS DUCTBANK 11-18 -16



NEW SPIRAL BRICK TIES 11-15 -16



NEW MASONRY WALL-to- WOOD WALL ANCHORS 11-15 -16



NEW ATTIC TRUSS BRACING & AHU INSTALLATION 11-16 -16



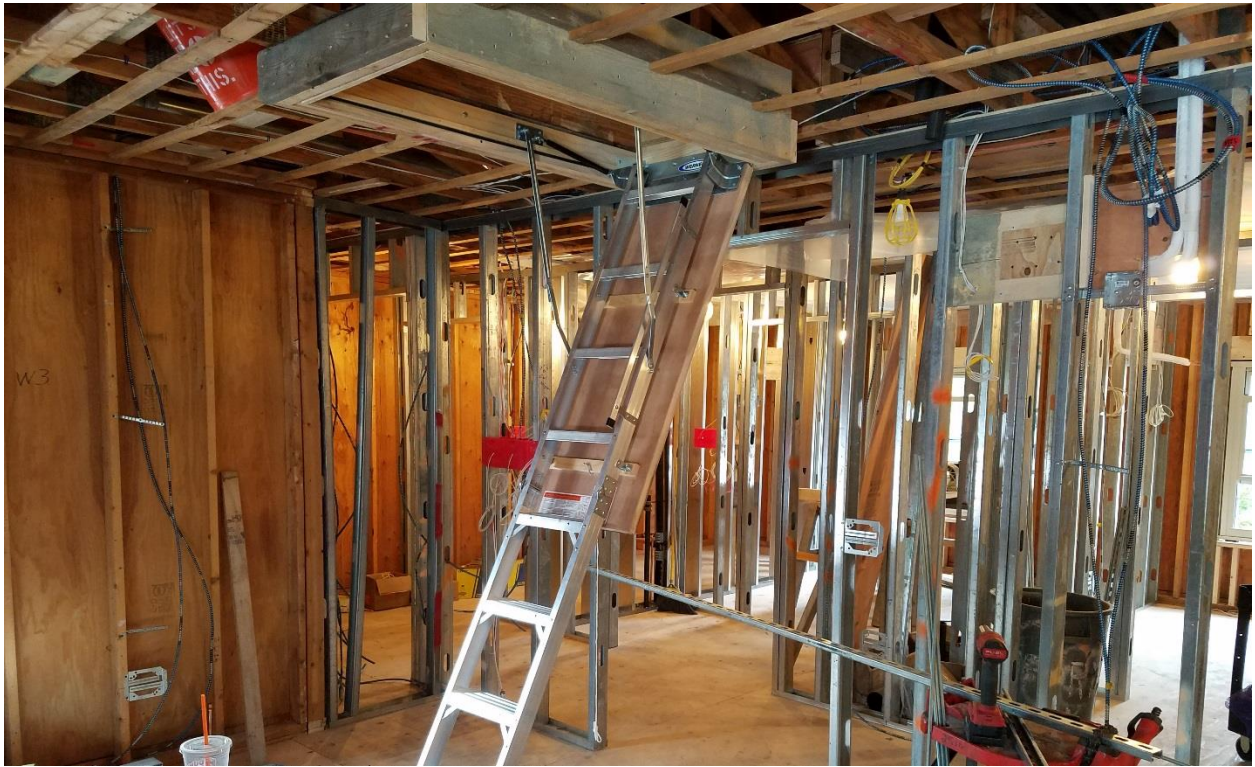
JACK STUD ANCHORS at FRONT WALL 11- 16 -16



ADDITIONAL STUDS PLACED UNDER EACH TRUSS 11-16 -16



MECHANICAL PIPING IN APPARATUS BAY 11-16 -16



ATTIC ACCESS 11-20-16



APPARATUS BAY PAINTED 11-18-16



ROOF TOP UNIT SET as viewed from REAR showing NEW ROOF TRIM 11- 30 -16



FRONT ELEVATION of ADMINISTRATION AREA 11-30-16