

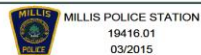
# Town of Millis

## Police & Fire Station Project

### MONTHLY PROGRESS REPORT

Report No. 4

SEPTEMBER, 2015



MILLIS POLICE STATION  
19416.01  
03/2015

PERSPECTIVE VIEW



CDR MAGUIRE

Prepared by:

Brian Main

Town of Millis

Owner's Project Manager

[bmain@millis.net](mailto:bmain@millis.net)

## Executive Summary – Project Overview:

- The footing excavation work started last month has now revealed some additional unforeseen subsurface conditions beyond the organic layer reported last month. Some of the excavated materials tested found asbestos present in the form of cement shingle debris, transite pipe fragments and friable debris. Axiom Partners, the project's asbestos consultant has been engaged to make application to the DEP for abating the contaminated soils. A work plan has been submitted to DEP describing the removal and disposal process being proposed as well as personnel monitoring of the workers and air quality testing at the perimeter. As a precaution, the entire site has been protected by a polyethylene covering that will remain in place until the approved activities can begin.
- At the request of the Board of Selectmen's office, the Project Manager crafted a press release summarizing the situation as of its issuance on September 16<sup>th</sup>. A link has been provided on the Town Website to view the document and a copy attached herein.  
This notification was also helpful in obtaining a waiver on the traditional 10-day public notification requirement of the DEP, which benefitted the project.
- Also during footing excavations, chunks of asphalt built-up roofing debris and roofing tar was discovered in the SE corner of the site. These materials tested NEGATIVE for PCB's and lead and but positive for petroleum content. Because of strong petroleum odors observed in the underlying layer beneath this debris, that soil was tested for contamination ( similar to the already known contaminated soils removed as part of Contract work ). Sovereign Consulting, the project's environmental consultant & LSP, has been authorized to seek permits for the removal and disposal of these contaminants.
- The amount of contaminated soil removed needs to be replaced by imported "Engineered Fill" placed in compacted layers in the building area.
- The team is also examining the information contained in the several rounds of test pits and borings undertaken before the construction documents were issued for bid to determine if such conditions could have been anticipated. That review is still underway.
- The costs associated with these unforeseen conditions was reviewed in great detail by the team members over the past two weeks. The total estimated costs associated with this clean-up is approximately \$963,654. Because the project's contingency cannot absorb these additional costs, the Board of Selectmen have agreed to place an Article on the Warrant for the upcoming November 2<sup>nd</sup>. Town Meeting to seek some additional funds.

- The PM provided the Town Administrator with a comprehensive packet of site and soil related documents to review in hopes of determining how the many unforeseen subsurface could have been missed. This review is ongoing and will be supplemented with additional information as it is made available.
- The PBC and the PM presented the costs associated with the clean-up to the Board of Selectmen on September 28<sup>th</sup>. These costs were detailed in the (5) page hand-out previously distributed to PBC members.

### **Issues or Concerns:**

- Should approval for the additional funding for the clean-up not be granted, the clean-up still must be undertaken at this time. Therefore, the other phases of the project could be effected.
- The delays associated with this clean-up have pushed many activities into winter months. Exterior masonry; roof framing; roof shingling and others will now require extra efforts to perform during “winter conditions.” Temporary weather barriers, temporary heat and other cold weather precautions will need to be implemented at an additional cost to the project.
- Another impact created by the delay results in the Fire Station work shifting to winter months thereby necessitating temporary weather protection for the Fire Apparatus stored outside during renovations. These costs have been factored into the overall costs in the funding request and carried as “allowances.”
- The Fire Station has incurred some damage due to leaks over the Apparatus bays and other areas. Currently, there are no funds designated to replace this roof estimated at \$130,000.
- The renovation of the Fire Station could also reveal some hidden conditions once work begins and a proper contingency should be allocated to address this should it be needed. Therefore, the contingency should be replenished to an acceptable level prior to initiating that phase of the project.
- The Planning Board was concerned that the noted existing 30” corrugated metal culvert was actually a 24” reinforced concrete pipe. CDR has been asked to provide them with a letter addressing the effects of this change.

### **Schedule Status:**

- The Baseline Construction Schedule reflects a July 1<sup>st</sup>, 2015 start with completion of the Police Station by July 25, 2016, followed by the Fire Station with a July 26, 2016 start and completion by Jan. 13, 2107. These completion dates are subject to change once the work associated with the delay has been completed.

- The several unforeseen site conditions have placed the project on-hold as of September 2<sup>nd</sup>. until such time that the DEP permit is granted and clean-up work can be started.  
The duration associated with the permitting is approximately one month; and clean-up estimated for another one month.
- The two-month look ahead schedule will be updated once the DEP grants a permit as there is not enough new information available at this time.
- The delay does push several weather-dependent activities into winter months which result in additional costs for items outlined above in “Issue & Concerns” and carried in the cost of the clean-up.

**Budget Status:**

- The GMP is \$7,482,584
- The amount being requested for clean-up is \$963,654
- The Owner’s contingency started at \$383,000 5.25 (%) and as of this report the balance is \$129,843 1.7 (%)

**Highlights of Construction Activities:**

- With the discovery of suspected contaminated soils work was suspended on September 2<sup>nd</sup>. The sitework equipment currently on site has been quarantined and as a result accruing an “idle equipment charge” of \$1500/day until such time the approved clean-up work can begin, and this equipment cleaned by asbestos workers allowing removal from site.

**Manpower Summary:**

Project on hold – no activities



**PHOTOS:**



**OIL GLOBULES INTERMIXED IN SOIL 9-1-15**



**ORGANIC LAYER VISIBLE IN SIDEWALL OF FOOTING EXCAVATION  
WITH OIL GLOBULE IN FORGROUND 9-1-15**





**POLYETHYLENE COVERING STOCKPILES 9-15-15**



**POLYETHYLENE COVERING ALL EXCAVATIONS  
WITH QUARANTINED EQUIPMENT 9-15-15**