



# TOWN OF MILLIS

Robert Cantoreggi, *Chairman*  
George Yered, *Clerk*  
James McKay  
Nicole Riley  
Richard Nichols  
Carlo Molinari, *Associate*

## OFFICE OF THE PLANNING BOARD

900 Main Street • Millis, MA 02054

Phone: 508-376-7045

Fax: 508-376-7053

Camille Standley  
Administrative Assistant  
[cstandley@millis.net](mailto:cstandley@millis.net)

February 7, 2018

Mr. David Carter  
Mr. James Williamson  
Barberry Homes, LLC  
10 Speen St., 4<sup>th</sup> Floor  
Framingham, MA 01746

Received:  
Feb. 9, 2018  
@ 10 AM  
Kathleen Smith  
Asst. Town Clerk

RE: "Dover Road Residences" Assisted Living Community  
Special Permit/Site Plan Approval Decision  
Request for Proposed Field Changes

Dear Mr. Carter and Mr. Williamson:

At the regularly scheduled meeting of the Planning Board held on Tuesday, February 6, 2018, the Board met with you and reviewed your request for several proposed minor field changes as depicted on revised plans, dated January 18, 2018.

The Board reviewed your email/letter, dated January 26, 2018, and revised plans you presented (last revision date of January 18, 2018). The field changes requested were as follows:

- Addition of the location of the underground gas and electric utilities
- Addition of the two sewage holding tanks (one outside the kitchen and one outside the southwest corner of the building)
- Creation of two ambulance entrances rather than one
- Relocation of Drain Manhole #2 (DMH2) and Catch Basin #4 (CB4) a bit north to accommodate the second emergency entrance
- Reduction in the foot print of the main building creating more open space on the rear side of the building
- Elimination of 20 parking spaces on the rear side of the building to further increase the amount of contiguous open space to the rear side of the building
- Relocation of the greenhouse to the new greenspace area on the rear side of the building
- Slight relocation of the dumpster, greenhouse, generator, and maintenance buildings

On a motion made by Mr. Richard Nichols, seconded by Ms. Nicole Riley, it was voted unanimously to approve the requested field changes as shown on the plan entitled, "Site Development Plan, 'The Dover Road Residences' Assisted Living Community, Millis, Massachusetts," dated March 7, 2016, last revised January 18, 2018, (16 sheets) prepared by GLM Engineering Consultants, Inc. Voting on this motion: Mr. George Yered, Ms. Nicole Riley, Mr. Richard Nichols and Mr. Carlo Molinari.

Sincerely,  
Millis Planning Board

A handwritten signature in cursive script that reads "George Yered" followed by a circular mark.

George Yered, Acting Chair

cc: Town Clerk, BOS, BOH, Building Dept., BETA Engineering. File  
Dover Road Residences Approved Field Changes 2-7-18.doc

SITE DEVELOPMENT PLAN  
“THE DOVER ROAD RESIDENCES”  
ASSISTED LIVING COMMUNITY  
MILLIS, MASSACHUSETTS

DATE: MARCH 7, 2016  
REVISED: MAY 10, 2016  
JUNE 8, 2016; NOVEMBER 26, 2016  
DECEMBER 21, 2016; JANUARY 5, 2017  
JANUARY 16, 2017; JANUARY 31, 2017  
AUGUST 22, 2017 JANUARY 18, 2018

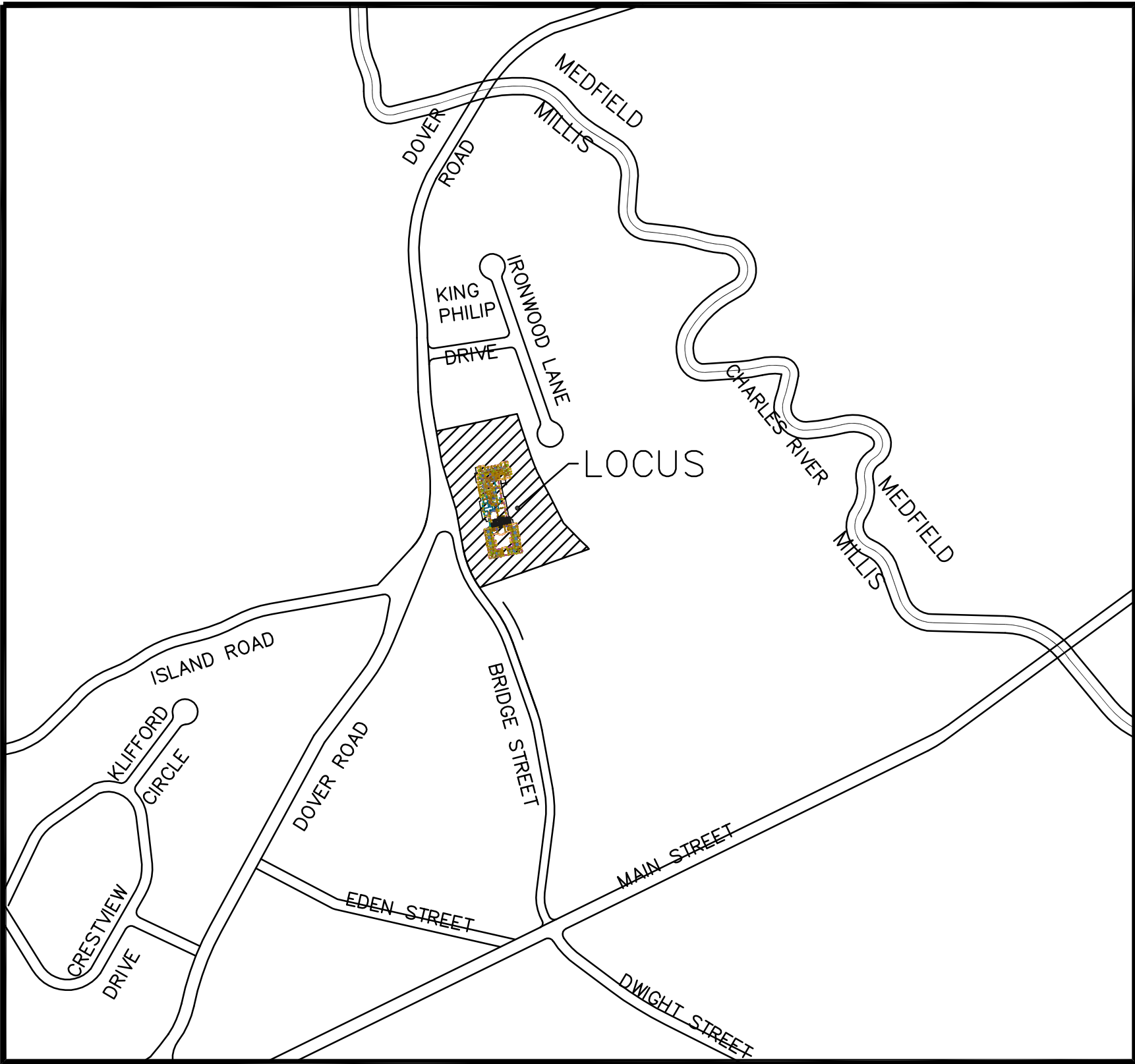
APPROVED BY THE  
MILLIS PLANNING BOARD:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF MILLIS,  
RECEIVED & RECORDED FROM THE PLANNING  
BOARD APPROVAL OF THIS PLAN AND NO  
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NEXT AFTER RECEIPT AND RECORDING OF SAME.  
\_\_\_\_\_  
TOWN CLERK DATE

ZONING DATA:

RESIDENCE (R-S)		
MAP 18, PARCEL 4	REQUIRED	PROVIDED
LOT AREA:	25,000 S.F.	335,291 ± S.F. (7.697±) ACRES)
FRONTAGE:	125 FT.	DOVER RD: 390.18 FT. BRIDGE ST: 384.22 FT.
LOT DEPTH:	200 FT.	400 + FT.
SETBACKS:		
FRONT:	40 FT.	77.9' (MAIN BLDG) 42.9' (COTTAGE)
SIDE:	20 FT.	88.3' (MAIN BLDG) 30.2' (COTTAGE)
REAR:	40 FT.	114.9' (MAIN BLDG) 58.0 (COTTAGE)
PERIMETER TO AREA RATIO: (PERIMETER)/(LOT AREA) < 0.08 (2437.61 S.F.)/(335,291 S.F.) = 0.007	<0.08	0.007
LOT COVERAGE ALLOWED:		
BUILDING:	25% (83,822 S.F.)	
LOT COVERAGE PROVIDED:		
MAIN BUILDING:	64,369 S.F.	
COTTAGES:	15,645 S.F.	
ACCESSORY:	1,376 S.F.	
TOTAL	81,390 S.F. (24.3%)	
PARKING SCHEDULE: (MAIN BUILDING)		
REQUIRED: ONE (1) SPACES PER UNIT		
PROPOSED 93 UNITS		
PARKING PROVIDED:		
HANDICAP:	10 SPACES	
STANDARD:	83 SPACES	
TOTAL	93 SPACES	

ASSESSOR REFERENCE:  
PARCEL C: MAP 18, PARCEL 4 - (PROJECT SITE)  
PARCEL B: MAP 18, PARCEL 5 - (20' DRAIN EASEMENT)  
PARCEL A: MAP 27, PARCEL 1 - (DRAIN EASEMENT RETENTION BASIN)  
DEED REFERENCE:  
BOOK 33928, PAGE 446  
BOOK 33557, PAGE 308  
PLAN REFERENCE:  
NORFOLK COUNTY REGISTRY OF DEEDS  
PLAN FILED AS BOOK 647, PAGE 42  
PLAN No. 755 OF 1977, PL. Bk. 262  
PLAN No. 841 OF 1956, BK 3483, PG 250



PREPARED BY:

GLM ENGINEERING  
CONSULTANTS, INC.  
19 EXCHANGE STREET  
HOLLISTON, MASSACHUSETTS 01746  
(508)429-1100 fax:(508)429-7160

OWNER:

DOVER ROAD LLC  
34 BRIDGE STREET  
MILLIS, MASSACHUSETTS 02054

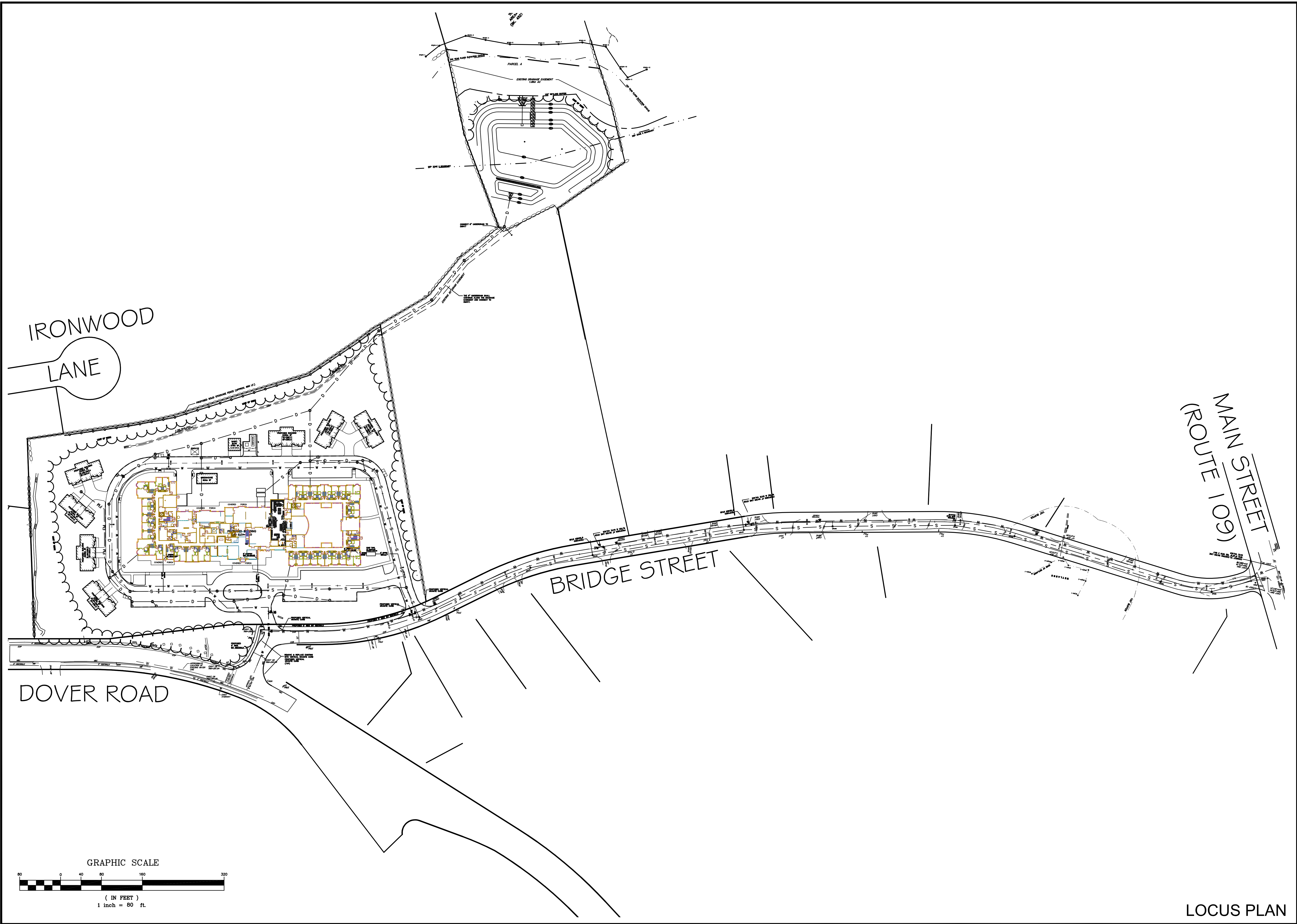
APPLICANT:

BARBERRY HOMES, LLC  
10 SPEEN STREET, 4TH FLOOR  
FRAMINGHAM, MASSACHUSETTS 01701

SHEET INDEX

SHEET NO.	DESCRIPTION
C-1	COVER SHEET
C-2	LOCUS PLAN
C-3	EXISTING CONDITIONS-1
C-4	EXISTING CONDITIONS-2
C-5	LAYOUT
C-6A	DRAINAGE & UTILITIES-1
C-6B	GRADING, DRAINAGE & UTILITIES-1
C-7	GRADING, DRAINAGE & UTILITIES-2
C-8	SEWER & WATER EXTENSION-1
C-9	SEWER & WATER EXTENSION-2
C-10	EROSION CONTROL-1
C-11	EROSION CONTROL-2
C-12	SITE DETAILS 1
C-13	SITE DETAILS 2
C-14	SITE DETAILS 3
C-15	SITE DETAILS 4
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
T0.00	SITE PLAN & ELEVATION
A1.00	BASEMENT & COTTAGE PLAN
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A2.00	WEST ELEVATION
A2.01	SOUTH & NORTH ELEVATIONS
A2.02	EAST ELEVATIONS
A3.00	PERSPECTIVE VIEW
A4.00	BUILDING SECTION
E1.00	GROUND FLOOR PHOTOMETRICS PLAN
E2.00	FIRST FLOOR PHOTOMETRICS PLAN





REVISIONS		DESCRIPTION	
No.	DATE	DESCRIPTION	DESCRIPTION
1	05/10/16	BETA COMMENTS	CONSTRUCTION DOCUMENTS
2	06/08/16	BETA COMMENTS	
3	11/26/16	B.O.H. Comments	
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8	08/22/17	CONSTRUCTION BID	

"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

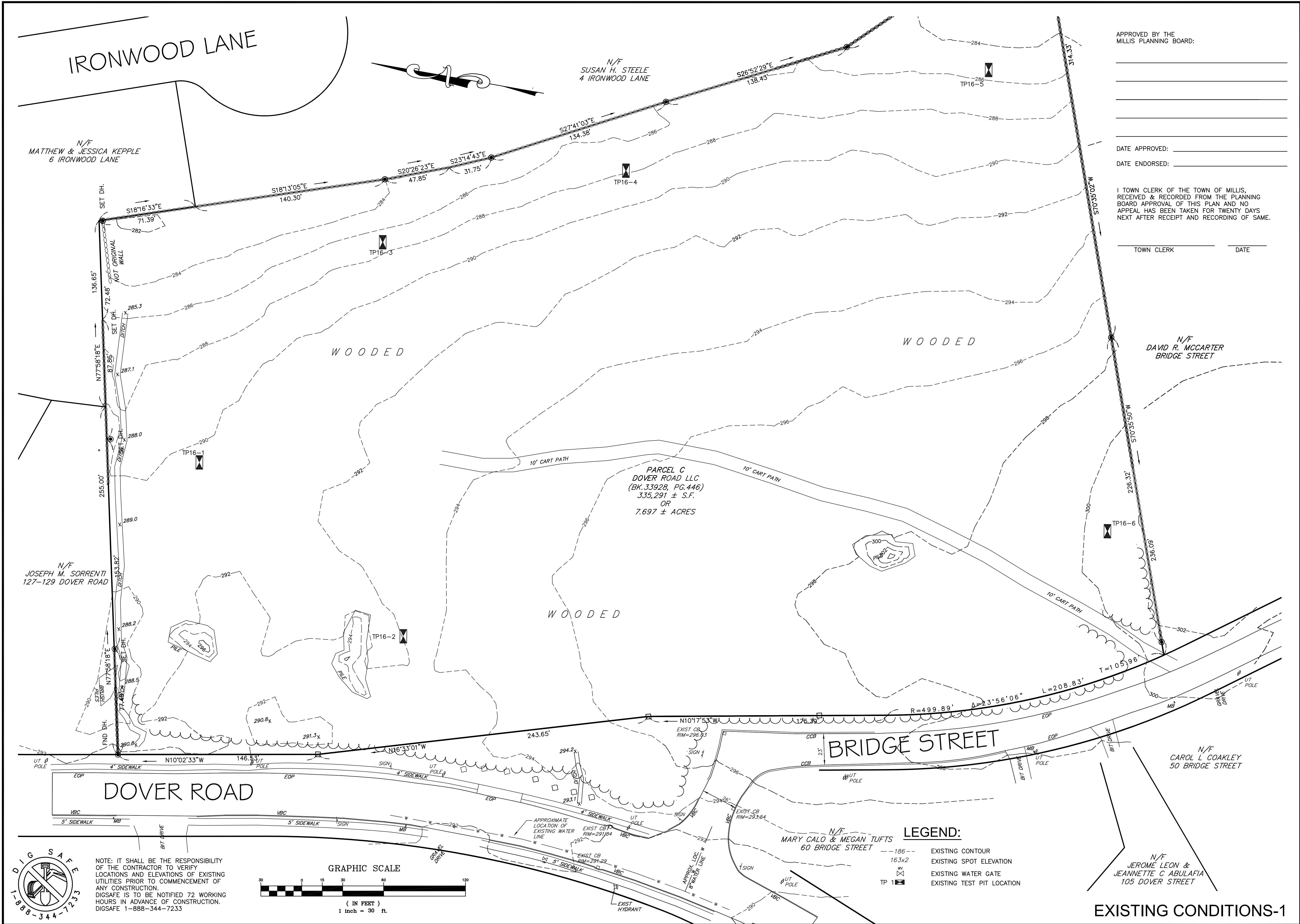
PREPARED FOR:  
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19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.:	15664-Site Plan
JOB No.	15664
DATE:	03/07/16
SCALE:	1"=80'
SHEET:	C-2
PLAN #:	27,016





APPROVED BY THE  
MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

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"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

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PREPARED BY:  
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DRW.: 15664-Site Plan

JOB No. 15664

DATE: 03/07/16

SCALE: 1"=30'

SHEET: C-3

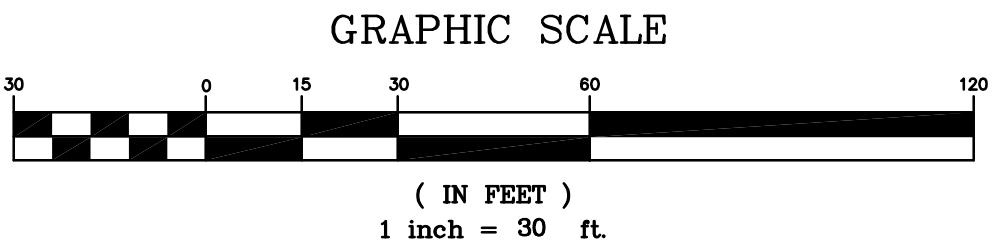
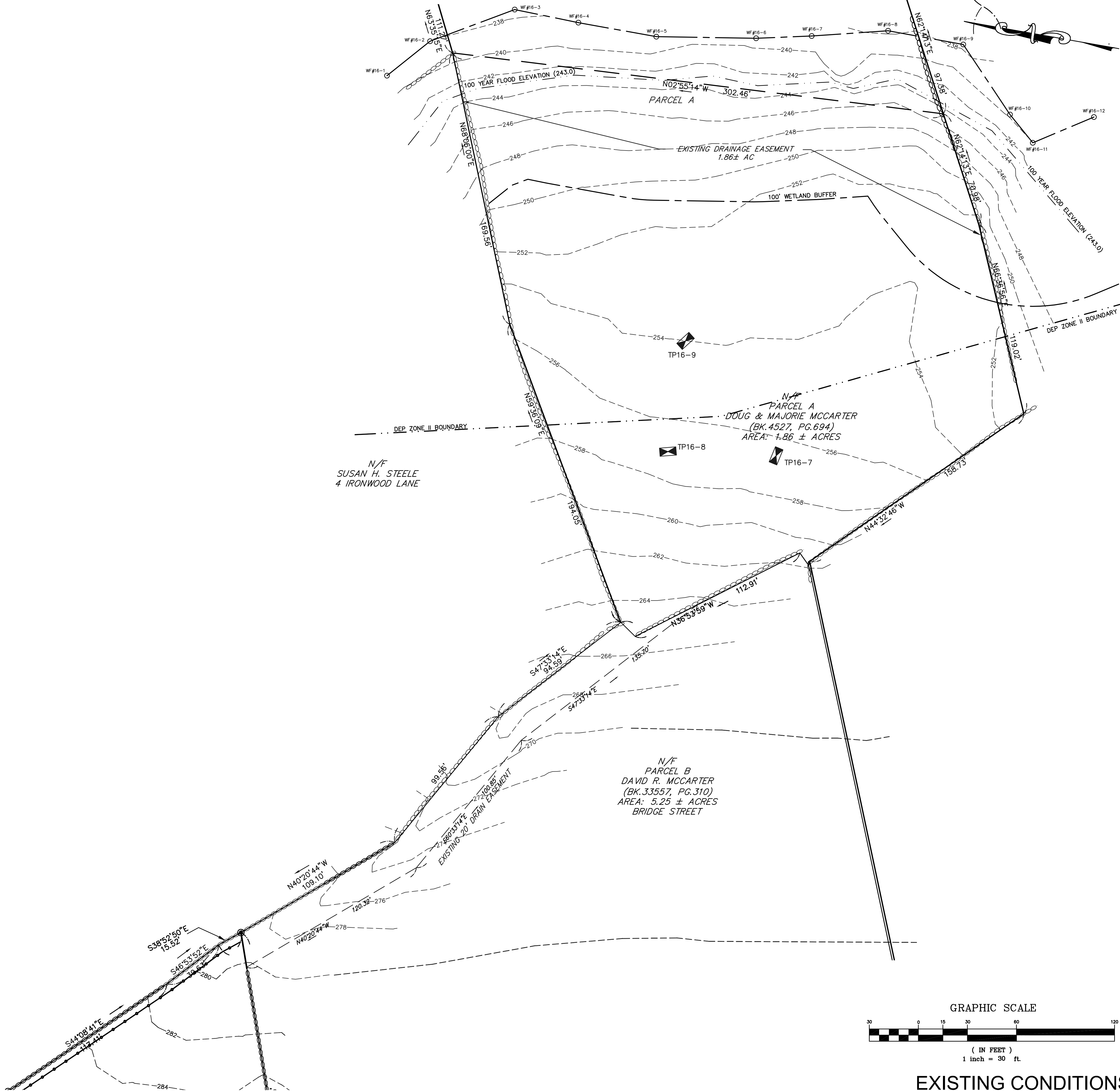
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EXISTING CONDITIONS-2

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DRW.:	15664-Site Plan
JOB No.	15664
DATE:	03/07/16
SCALE:	1"=30'
SHEET:	C-4
PLAN #:	27,016



IRONWOOD LANE

APPROVED BY THE  
MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

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JOB No.	15664
DATE:	03/07/16
SCALE:	1"=30'
SHEET:	C-5
PLAN #:	27,016

DOVER ROAD

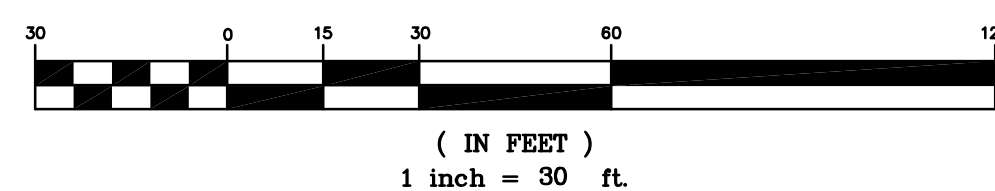
BRIDGE STREET

LEGEND:

- 186- EXISTING CONTOUR
- 163x2 EXISTING SPOT ELEVATION
- EXISTING WATER GATE
- EXISTING TEST PIT LOCATION
- 202- PROPOSED CONTOUR
- 163x2 PROPOSED SPOT ELEVATION
- WF# 12-B9 EXISTING WETLAND FLAG
- VCC VERTICAL CONCRETE CURB
- CAPE COD BERM
- PROPOSED TREE LINE
- PROPOSED SNOW STORAGE AREA

- NOTES:
- SIDEWALKS SHALL BE 5' WIDE, BITUMINOUS ASPHALT WITH CEMENT CONCRETE RAMPS AT ALL DRIVEWAY AND STREET CROSSINGS. RAMPS SHALL HAVE GRANITE CURB TYPE VA5.
  - RAMPS AND SIDEWALKS SHALL MEET MASSDOT 2014 CONSTRUCTION STANDARD DETAILS AND ALL ADA AND AAB STANDARDS.
  - SIGNAGE SHALL MEET MUTCD MASSDOT STANDARDS FOR CROSSWALK ON BRIDGE STREET AND DOVER ROAD.

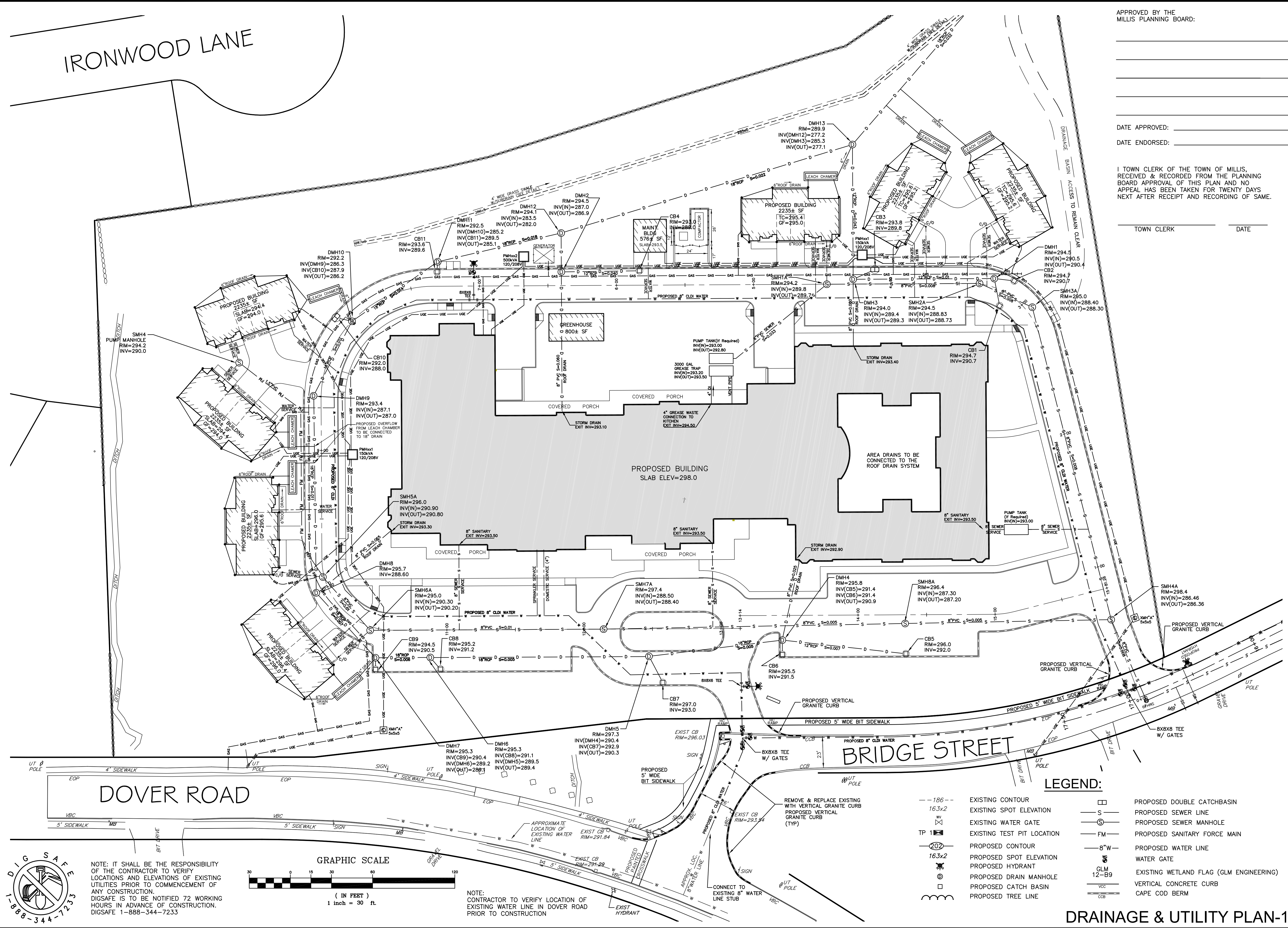
GRAPHIC SCALE



NOTE: IT SHALL BE THE RESPONSIBILITY  
OF THE CONTRACTOR TO VERIFY  
LOCATIONS AND ELEVATIONS OF EXISTING  
UTILITIES PRIOR TO COMMENCEMENT OF  
ANY CONSTRUCTION.  
DIGSAFE IS TO BE NOTIFIED 72 WORKING  
HOURS IN ADVANCE OF CONSTRUCTION.  
DIGSAFE 1-888-344-7233







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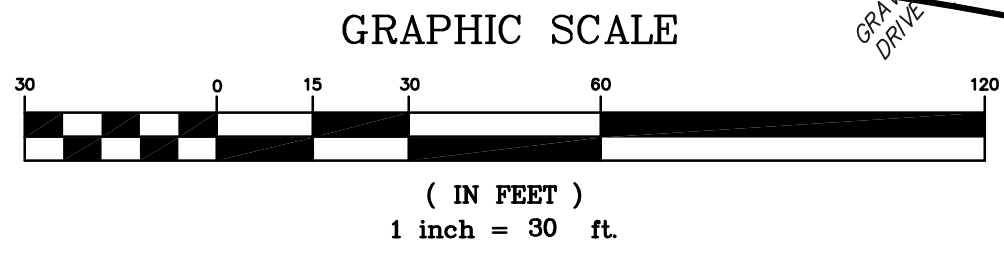
SCALE: 1"=30'

SHEET: C-6A

PLAN #: 27,016



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NOTE: CONTRACTOR TO VERIFY LOCATION OF  
EXISTING WATER LINE IN DOVER ROAD  
PRIOR TO CONSTRUCTION

LEGEND:	
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING WATER GATE
	EXISTING TEST PIT LOCATION
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED HYDRANT
	PROPOSED DRAIN MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED TREE LINE
	PROPOSED DOUBLE CATCHBASIN
	PROPOSED SEWER LINE
	PROPOSED SEWER MANHOLE
	PROPOSED SANITARY FORCE MAIN
	PROPOSED WATER LINE
	WATER GATE
	EXISTING WETLAND FLAG (GLM ENGINEERING)
	VERTICAL CONCRETE CURB
	CAPE COD BERM

DRAINAGE & UTILITY PLAN-1



IRONWOOD LANE

APPROVED BY THE  
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"THE DOVER ROAD RESIDENCES"  
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MILLIS, MASSACHUSETTS

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DRW.: 15664-Site Plan

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DATE: 03/07/16

SCALE: 1"=30'

SHEET: C-6B

PLAN #: 27,016

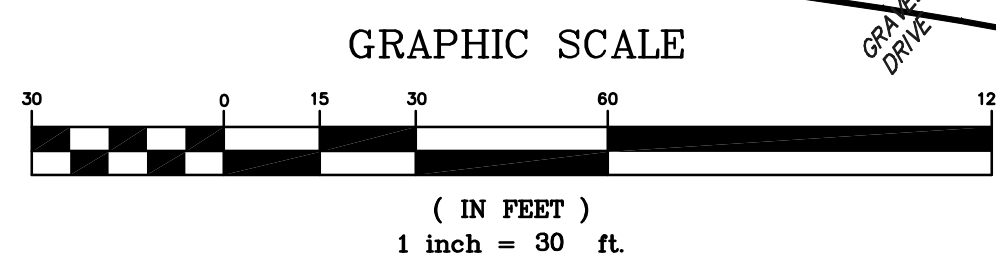
DOVER ROAD

BRIDGE STREET

LEGEND:

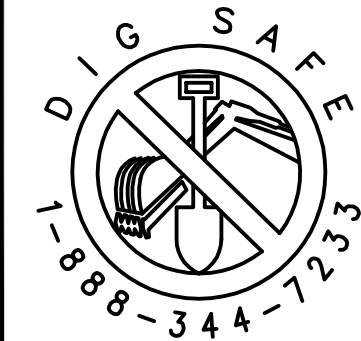
186	EXISTING CONTOUR	PROPOSED DOUBLE CATCHBASIN
163x2	EXISTING SPOT ELEVATION	PROPOSED SEWER LINE
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163x2	PROPOSED SPOT ELEVATION	WATER GATE
WV	PROPOSED HYDRANT	EXISTING WETLAND FLAG (GLM ENGINEERING)
WV	PROPOSED DRAIN MANHOLE	VERTICAL CONCRETE CURB
WV	PROPOSED CATCH BASIN	CAPE COD BERM
WV	PROPOSED TREE LINE	

GRADING, DRAINAGE & UTILITY PLAN-1



NOTE:  
CONTRACTOR TO VERIFY LOCATION OF  
EXISTING WATER LINE IN DOVER ROAD  
PRIOR TO CONSTRUCTION

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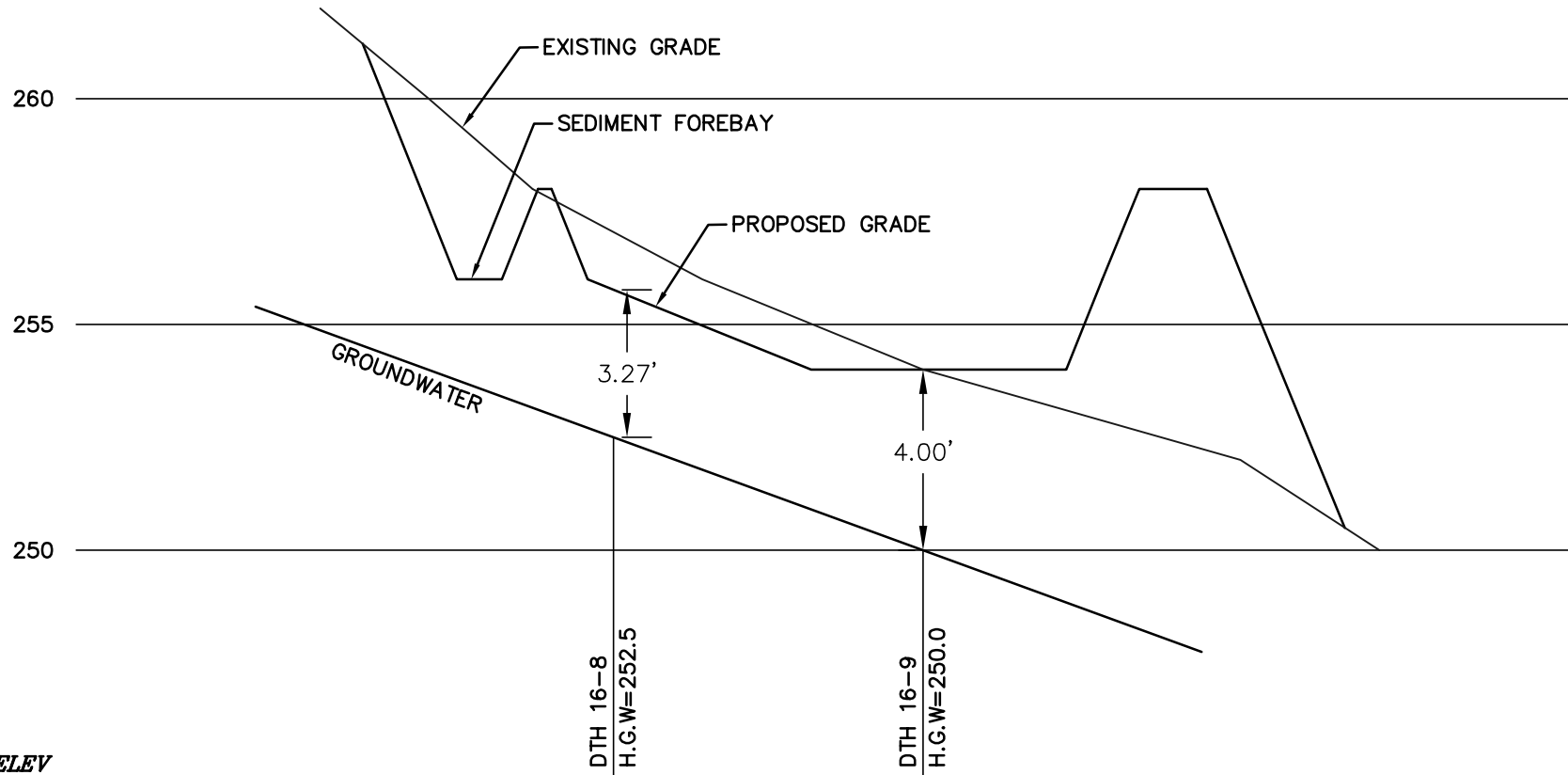
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

NOTE:

1. A REPRESENTATIVE OF THE PLANNING BOARD SHALL HAVE THE RIGHT TO ENTER THE PROPERTY AT A REASONABLE TIME AND MANNER FOR THE PURPOSE OF INSPECTION.
2. AREAS DISTURBED TO CONSTRUCT THE CROSS COUNTRY DRAINAGE NETWORK SHALL BE SEEDED WITH '\*NEW ENGLAND CONSERVATION/WILDLIFE MIX' OR APPROVED EQUAL.
3. AREAS DISTURBED TO CONSTRUCT THE SEDIMENT FOREBAY AND INFILTRATION BASIN SHALL BE LOAMED AND SEEDED.
4. AT THE END OF EACH WORK DAY ALL OPEN TRENCHES SHALL BE BACKFILLED OR APPROPRIATELY PLATED. NO EXCAVATIONS TO BE LEFT OPEN OVERNIGHT.
5. ALL EXCAVATIONS SHALL BE ADEQUATELY FENCED OR OR WARNING SIGNAGE POSTED DURING CONSTRUCTION.

\*NEW ENGLAND CONSERVATION/WILDLIFE MIX

SPECIES:  
BIG BLUESTEM (ANDROPOGON GERARDII), FRINGED BROME GRASS (BROMUS CILIATUS), CREEPING RED FESCUE (FESTUCA RUBRA), CANADA WILD RYE (ELYMUS CANADENSIS), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), SWITCHGRASS (PANICUM VIRGATUM), DEER TONGUE (PANICUM CLANDESTINUM), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), INDIAN GRASS (SORGHASTRUM NUTANS), COMMON MILKWEED (ASCLEPIAS SYRIACA), NEW ENGLAND ASTER (ASTER NOVAE-ANGLIAE), PATRIDGE PEA (CHAMAECRISTA FASCICULATA), SHOWY TICK-TREFOIL (DESMODIUM CANADENSE), GRASS LEAVED GOLDENROD (EUTHAMIA GRAMINIFOLIA), GRAY GOLDENROD (SOLIDAGO NEMORALIS).



BASIN CROSS SECTION

HORIZONTAL 1" = 40'

VERTICAL 1" = 4'



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

DEEP OBSERVATION HOLE LOGS

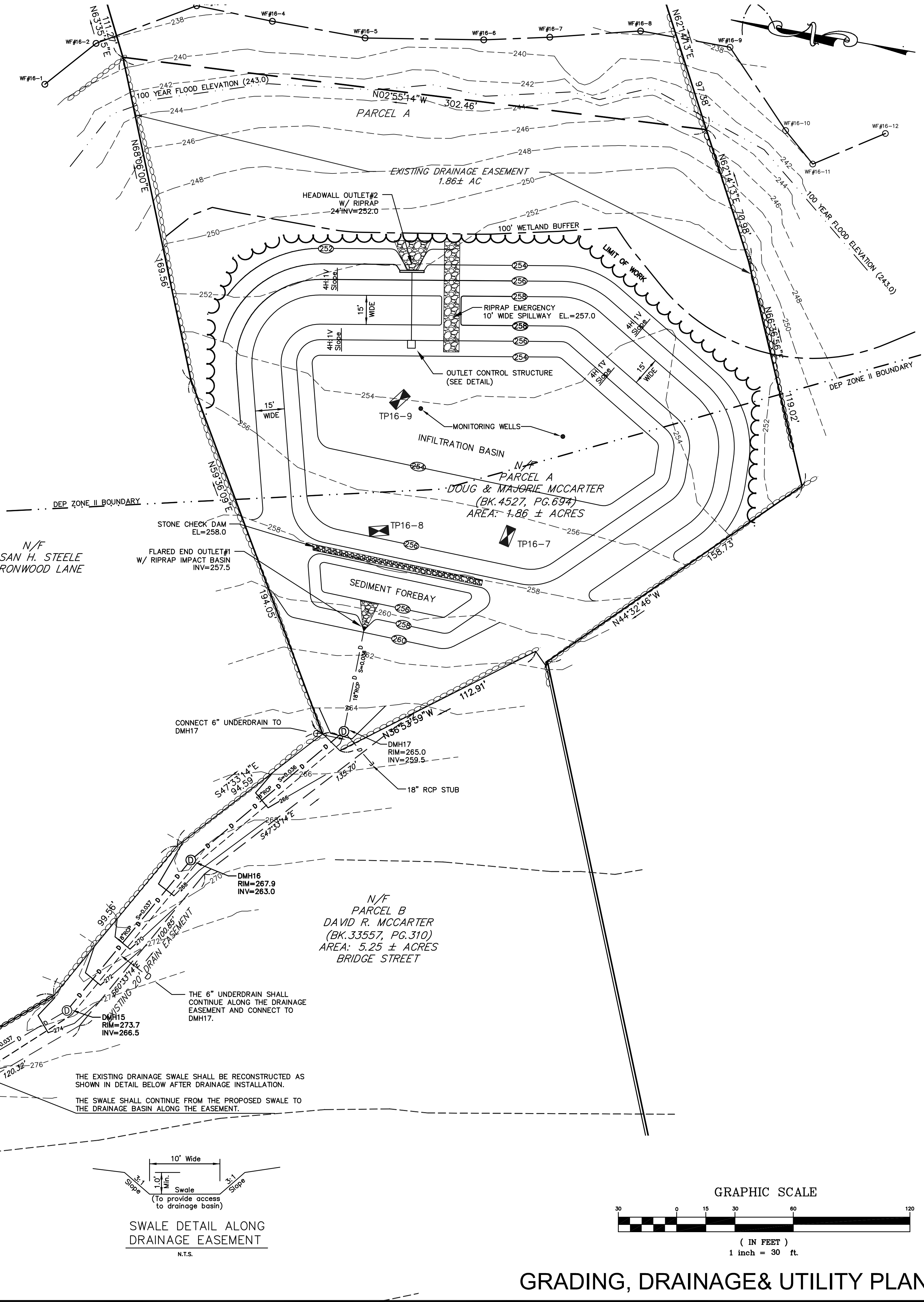
DEEP HOLE -- 16-1			DEEP HOLE -- 16-2			DEEP HOLE -- 16-3		
HORIZ DEPTH	DATE: 1/15/16	ELEV.	HORIZ DEPTH	DATE: 1/15/16	ELEV.	HORIZ DEPTH	DATE: 1/15/16	ELEV.
0"	A SANDY LOAM 10YR5/2	290.2	0"	A SANDY LOAM 10YR5/2	292.0	0"	A SANDY LOAM 10YR5/2	287.0
10"	Bw SANDY LOAM 10YR5/6	289.4	14"	Bw SANDY LOAM 10YR5/6	290.8	6"	Bw SANDY LOAM 10YR5/6	286.5
28"	C SANDY LOAM 2.5Y5/4	287.9	30"	C SANDY LOAM 2.5Y5/4	289.5	24"	C SANDY LOAM 2.5Y5/4	285.0
98"	GROUNDWATER OBSERVED	282.0	90"	GROUNDWATER OBSERVED	284.5	110"	GROUNDWATER OBSERVED	277.8
28"	SOIL MOTTLING	287.9	30"	SOIL MOTTLING	289.5		SOIL MOTTLING	
28"	GROUNDWATER MONITORED		30"	GROUNDWATER MONITORED			GROUNDWATER MONITORED	
28"	ESTIMATED SEASONAL HIGH GROUNDWATER	287.9	30"	ESTIMATED SEASONAL HIGH GROUNDWATER	289.5		ESTIMATED SEASONAL HIGH GROUNDWATER	

DEEP HOLE -- 16-4			DEEP HOLE -- 16-5			DEEP HOLE -- 16-6		
HORIZ DEPTH	DATE: 1/15/16	ELEV.	HORIZ DEPTH	DATE: 1/15/16	ELEV.	HORIZ DEPTH	DATE: 1/15/16	ELEV.
0"	A SANDY LOAM 10YR5/2	288.0	0"	A SANDY LOAM 10YR5/2	285.8	0"	A SANDY LOAM 10YR5/2	301.0
6"	Bw SANDY LOAM 10YR5/6	287.5	10"	Bw SANDY LOAM 10YR5/6	285.0	6"	Bw SANDY LOAM 10YR5/6	300.5
26"	C SANDY LOAM 2.5Y5/4	285.8	28"	C SANDY LOAM 2.5Y5/4	283.5	26"	C SANDY LOAM 2.5Y5/4	298.8
90"	GROUNDWATER OBSERVED	280.5	92"	GROUNDWATER OBSERVED	277.8	120"	GROUNDWATER OBSERVED	291.0
26"	SOIL MOTTLING	285.8	28"	SOIL MOTTLING	283.5	40"	SOIL MOTTLING	297.7
26"	GROUNDWATER MONITORED		28"	GROUNDWATER MONITORED		40"	GROUNDWATER MONITORED	
26"	ESTIMATED SEASONAL HIGH GROUNDWATER	285.8	28"	ESTIMATED SEASONAL HIGH GROUNDWATER	283.5	40"	ESTIMATED SEASONAL HIGH GROUNDWATER	297.7

DEEP HOLE -- 16-7			DEEP HOLE -- 16-8			DEEP HOLE -- 16-9		
HORIZ DEPTH	DATE: 2/2/16	ELEV.	HORIZ DEPTH	DATE: 2/2/16	ELEV.	HORIZ DEPTH	DATE: 2/2/16	ELEV.
0"	A SANDY LOAM	256.8	0"	A SANDY LOAM 10YR5/2	257.0	0"	A SANDY LOAM 10YR5/2	254.0
8"	Bw SANDY LOAM	256.1	8"	Bw SANDY LOAM 10YR5/6	256.3	8"	Bw SANDY LOAM 10YR5/6	253.3
28"	C1 FINE-MED SAND 50% GRAVEL	254.5	26"	C1 FINE-MED SAND 50% GRAVEL	254.8	24"	C1 FINE-MED SAND 50% GRAVEL	252.0
56"	C2 MED-COARSE SAND 30% GRAVEL	252.1	54"	C2 MED-COARSE SAND 30% GRAVEL	252.5	48"	C2 MED-COARSE SAND 30% GRAVEL	250.0
104"	GROUNDWATER OBSERVED	248.1	104"	GROUNDWATER OBSERVED	248.3	108"	GROUNDWATER OBSERVED	245.0
96"	SOIL MOTTLING	252.1	96"	SOIL MOTTLING	249.0	76"	SOIL MOTTLING	247.7
56"	GROUNDWATER MONITORED		54"	SOIL MOTTLING	252.5	48"	SOIL MOTTLING	250.0
56"	ESTIMATED SEASONAL HIGH GROUNDWATER	252.1	54"	ESTIMATED SEASONAL HIGH GROUNDWATER	252.5	48"	ESTIMATED SEASONAL HIGH GROUNDWATER	250.0

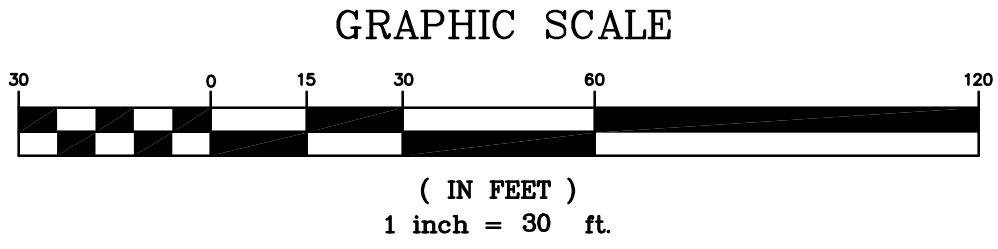
N/F  
SUSAN H. STEELE  
4 IRONWOOD LANE

N/F  
PARCEL B  
DAVID R. MCCARTER  
(BK.33557, PG.310)  
AREA: 5.25 ± ACRES  
BRIDGE STREET



SWALE DETAIL ALONG DRAINAGE EASEMENT

N.T.S.



GRADING, DRAINAGE& UTILITY PLAN-2

REVISIONS		DESCRIPTION	
No.	DATE	DESCRIPTION	CONSTRUCTION DOCUMENTS
9	01/18/16		

REVISIONS		DESCRIPTION	
No.	DATE	DESCRIPTION	CONSTRUCTION DOCUMENTS
1	05/10/16	BETA COMMENTS	
2	06/08/16	BETA COMMENTS	
3	11/26/16	B.O.H. Comments	
4	12/21/16	REVIEW COMMENTS	
5	01/05/17	BOH REVIEW COMMENTS	
6	01/16/17	BOH REVIEW COMMENTS	
7	01/31/17	DPW REVIEW COMMENTS	
8	08/22/17	CONSTRUCTION BID	

"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

GLM Engineering  
Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.: 15664-Site Plan

JOB No. 15664

DATE: 03/07/16

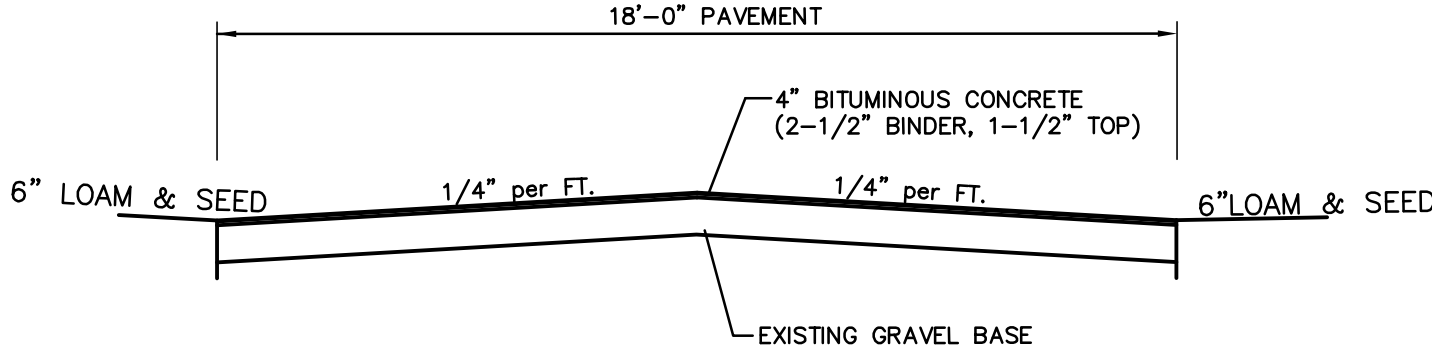
SCALE: 1"=30'

SHEET: C-7

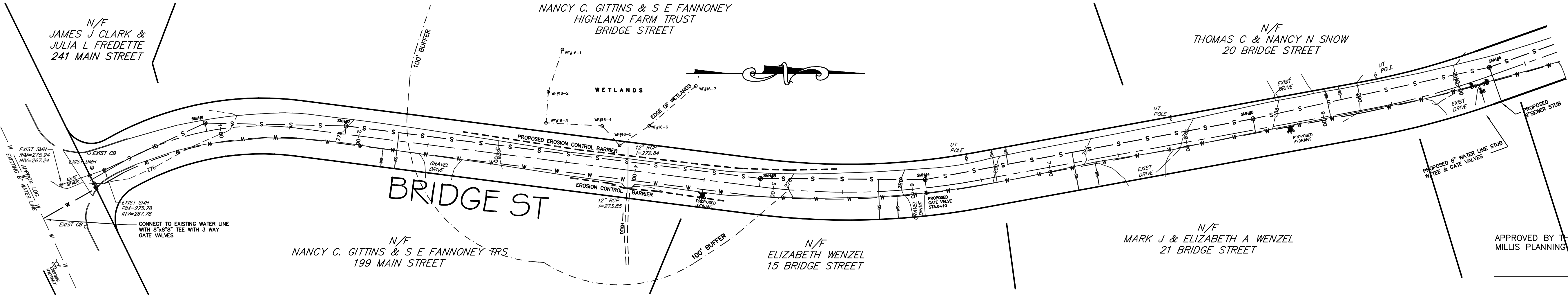
PLAN #: 27,016



OWNER OF BRIDGE STREET  
TOWN OF MILLIS



BRIDGE STREET CROSS SECTION  
NOT TO SCALE



GENERAL NOTES:

1. PRIOR TO WORK COMMENCING SILT SACKS SHALL BE INSTALLED IN THE EXISTING CATCH BASINS LOCATED AT THE INTERSECTION OF BRIDGE AND MAIN STREET. (SEE DETAIL)
2. BRIDGE STREET SHALL BE RECONSTRUCTED ONCE ALL UTILITY INSTALLATION IS COMPLETE.
3. THE EXISTING PAVEMENT WIDTH IS 18 FEET WIDE. THE ROADWAY SHALL BE REPAVED FOR THE ENTIRE WIDTH AND MAINTAIN THE EXISTING GRAVEL BASE.
4. ROADWAY SHALL BE PAVED AS SHOWN IN CROSS SECTION.
5. THE EXISTING DRAINAGE CULVERT SHALL BE INSPECTED BY THE TOWN DURING CONSTRUCTION.
6. ADDITIONAL EROSION CONTROLS MAY BE ADDED DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND AS REQUIRED BY THE CONSERVATION COMMISSION.

Bridge Street Water & Sewer Installation/Roadway Reconstruction:

- Reclaim Roadway full width 12 - 15 inch depth
- Install Sewer & Water
  - o All trench excavation shall be completed with a minimum of twelve (12) inches compacted roadway gravel base
- Finish Grade Roadway Pavement Installation
  - o Install 2 1/2 inch binder coarse full width of roadway (18' wide min.)
  - o Install 1 1/2 inch top coarse full width of roadway with twelve (12) wide monolithic berm in the areas that berm currently exists.
  - o Finish roadway width to be match existing with a minimum 18 foot wide including monolithic berm

DATE APPROVED: \_\_\_\_\_

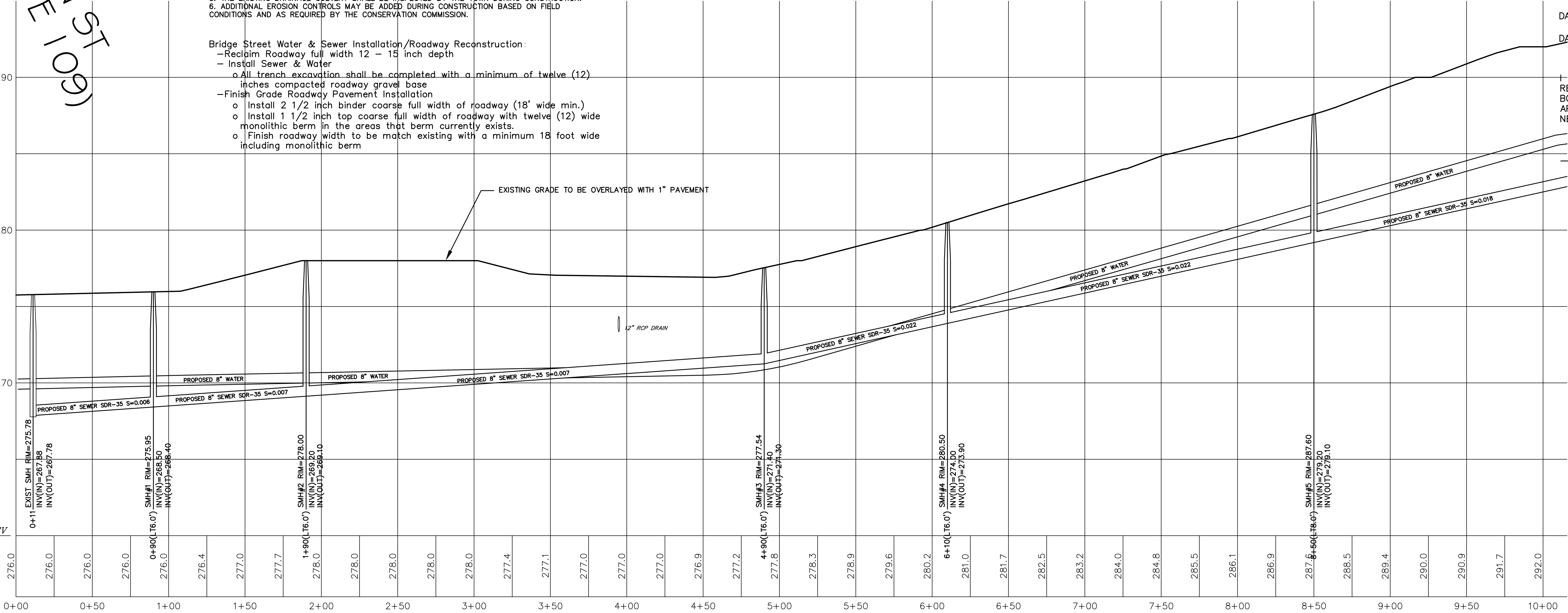
DATE ENDORSED: \_\_\_\_\_

I-TOWN CLERK OF THE TOWN OF MILLIS,  
RECEIVED & RECORDED FROM THE PLANNING  
BOARD APPROVAL OF THIS PLAN AND NO  
APPEAL HAS BEEN TAKEN FOR TWENTY DAYS  
NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK

DATE

DATUM ELEV  
260.00



GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

BRIDGE STREET PLAN & PROFILE-1

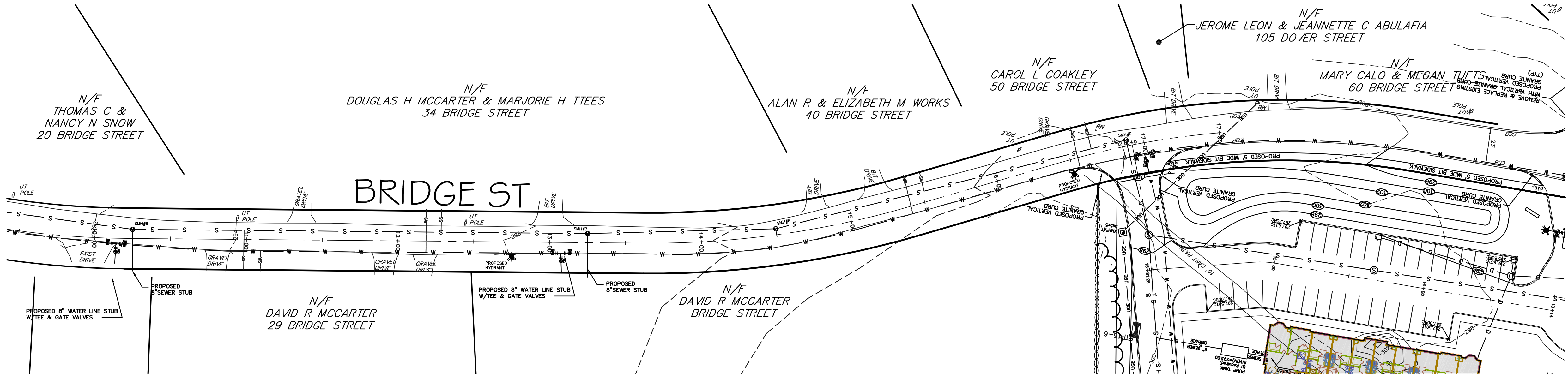
"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

GLM Engineering  
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HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.:	15664-Site Plan
JOB No.	15664
DATE:	03/07/16
SCALE:	1"=40'
SHEET:	C-8
PLAN #:	27,016

REVISIONS		DESCRIPTION	
No.	DATE	BETA COMMENTS	CONSTRUCTION DOCUMENTS
1	05/10/16	BETA COMMENTS	
2	06/08/16	BETA COMMENTS	
3	11/26/16	B.O.H. Comments	
4	12/21/16	REVIEW COMMENTS	
5	01/05/17	REVIEW COMMENTS	
6	01/16/17	BOH REVIEW COMMENTS	
7	01/31/17	DPW REVIEW COMMENTS	
8	08/22/17	CONSTRUCTION BID	



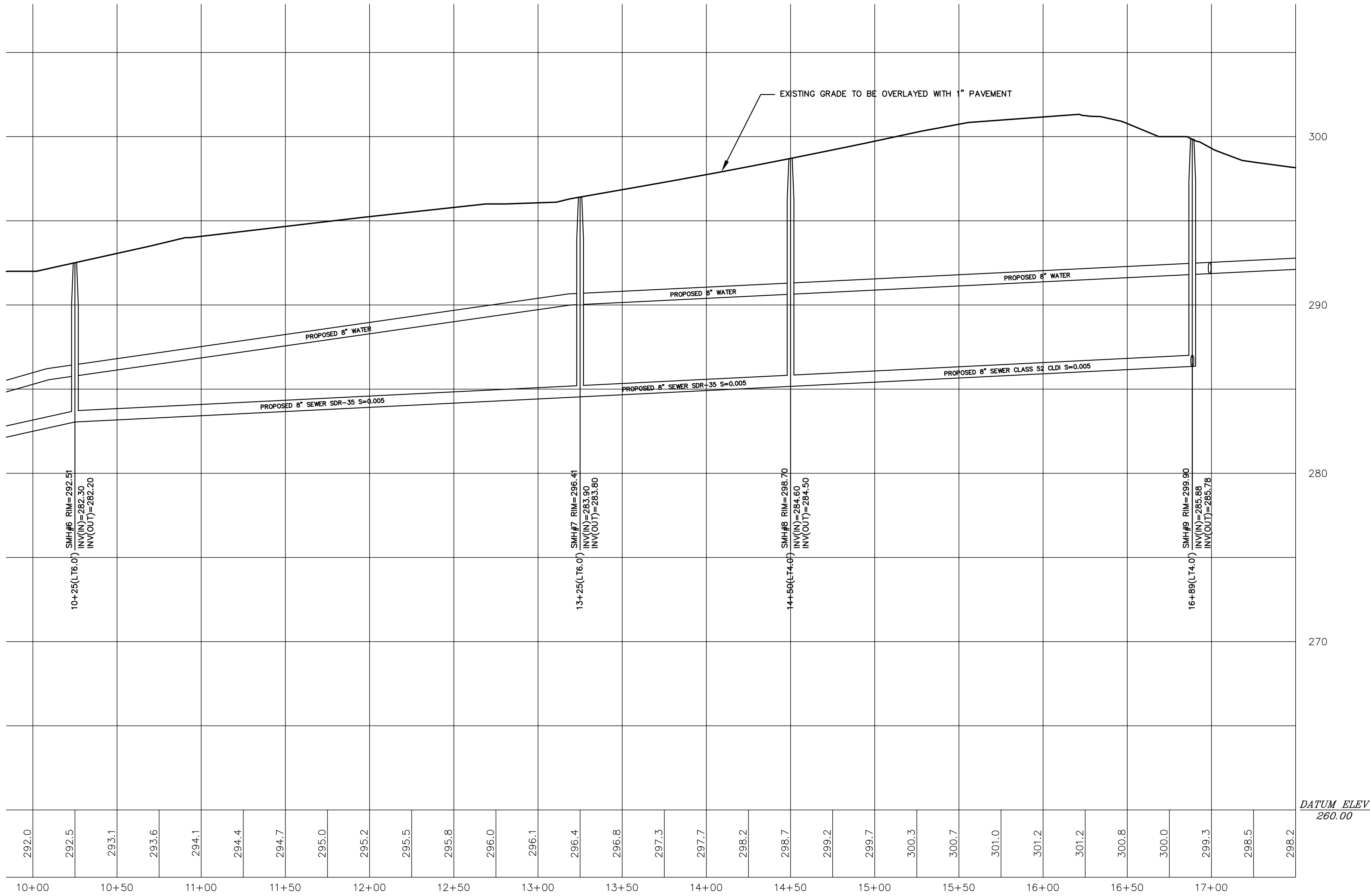
APPROVED BY THE  
MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

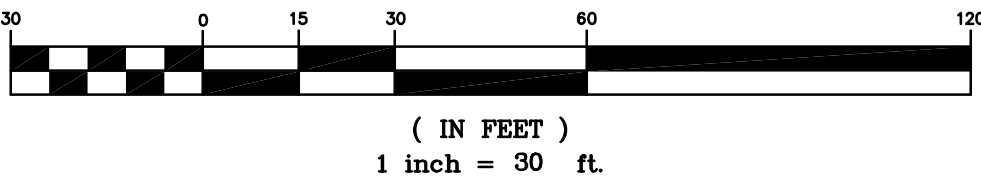
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF MILLIS,  
RECEIVED & RECORDED FROM THE PLANNING  
BOARD APPROVAL OF THIS PLAN AND NO  
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NEXT AFTER RECEIPT AND RECORDING OF SAME.



- GENERAL NOTES:
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    - o Install 1 1/2 inch top coarse full width of roadway with twelve (12) wide monolithic berm in the areas that berm currently exists.
    - o Finish roadway width to be match existing with a minimum 18 foot wide including monolithic berm

GRAPHIC SCALE



## BRIDGE STREET PLAN & PROFILE-2



NOTE: IT SHALL BE THE RESPONSIBILITY  
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UTILITIES PRIOR TO COMMENCEMENT OF  
ANY CONSTRUCTION.  
DIGSAFE IS TO BE NOTIFIED 72 WORKING  
HOURS IN ADVANCE OF CONSTRUCTION.  
DIGSAFE 1-888-344-7233

REVISIONS		DESCRIPTION	
		DATE	CONSTRUCTION DOCUMENTS
No.	9	01/18/18	
DESCRIPTION			
BETA COMMENTS			
BETA COMMENTS			
B.O.H. Comments			
REVIEW COMMENTS			
REVIEW COMMENTS			
BOH REVIEW COMMENTS			
DPW REVIEW COMMENTS			
CONSTRUCTION BID			

"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

DRW.:	15664-Site Plan
JOB No.	15664
DATE:	03/07/16
SCALE:	1"=40'
SHEET:	C-9
PLAN #:	27,016







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DATE ENDORSED: \_\_\_\_\_

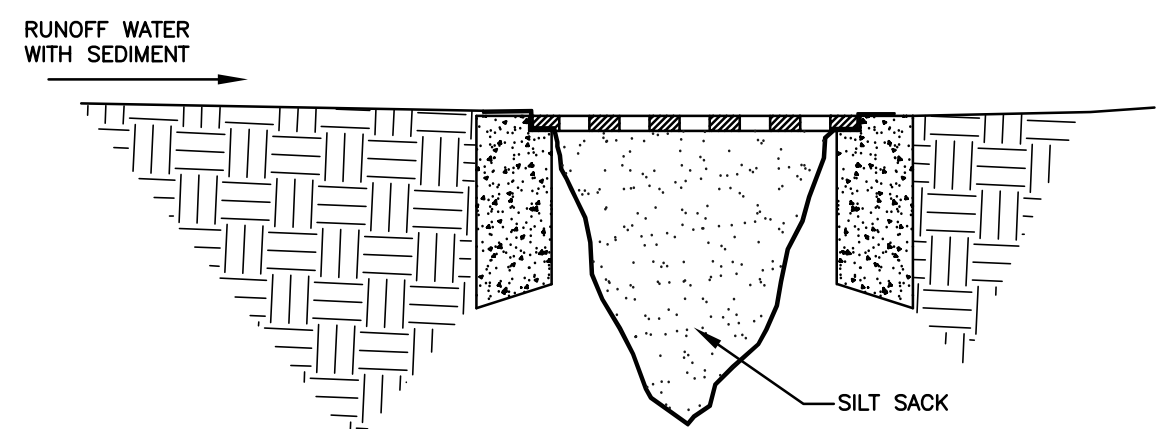
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

THE FOLLOWING EROSION CONTROL SPECIFICATIONS ARE IN EFFECT WHEN SITE ALTERATION WORK IS CONTEMPLATED TO PREVENT DOWN GRADIENT OR ADJACENT AREAS FROM BEING ADVERSELY IMPACTED.

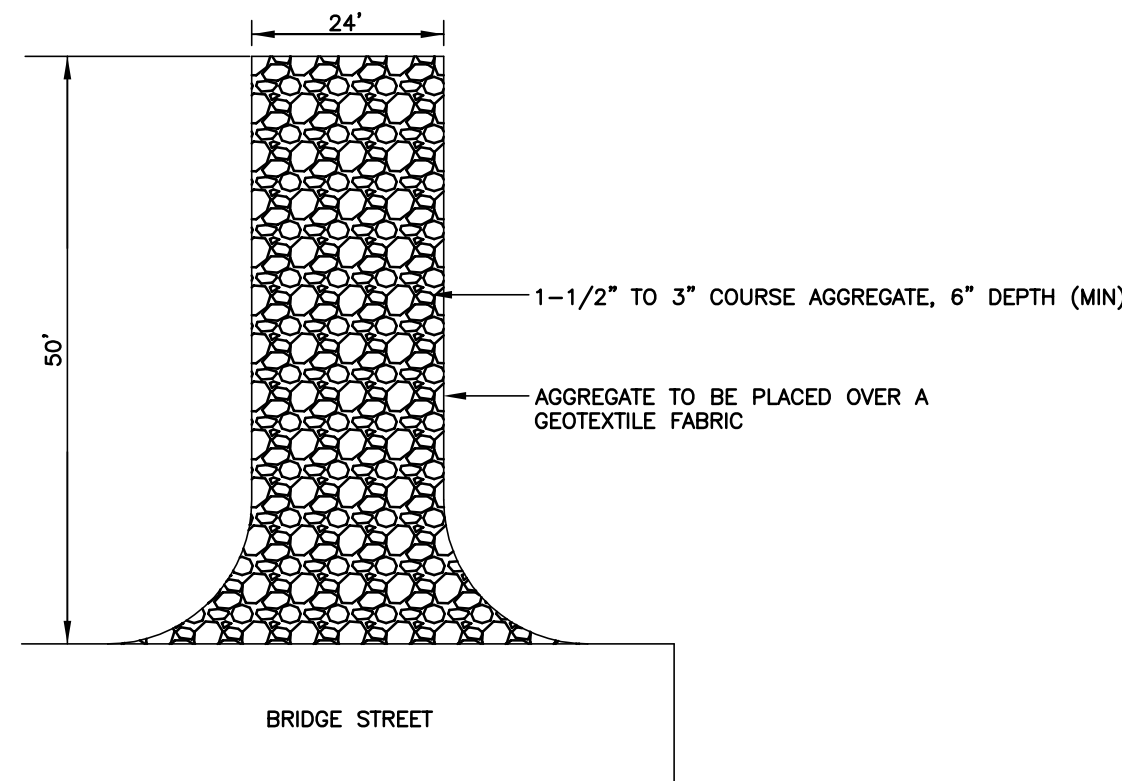
8. THE INFILTRATION BASIN SHOULD NOT BE EXCAVATED TO WITHIN MORE THAN ONE (1) FOOT OF FINISHED GRADE UNTIL THE SITE IS STABILIZED WITH FINAL PLANTINGS AND PAVEMENT.
- A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

[illegible]

FILTER MITT WITH  
CONSTRUCTION FENCE DETAIL  
NOT TO SCALE



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DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.  
DIGSAFE 1-888-344-7233



The diagram illustrates the construction of a stone ditch for erosion control, showing both a plan view and a cross-section.

**PLAN VIEW:** This view shows the ditch from above. It is a U-shaped feature filled with stones. The stones are placed in the ditch line. The ditch is oriented with a 'DOWN' slope on one side and an 'UPHILL' slope on the other.

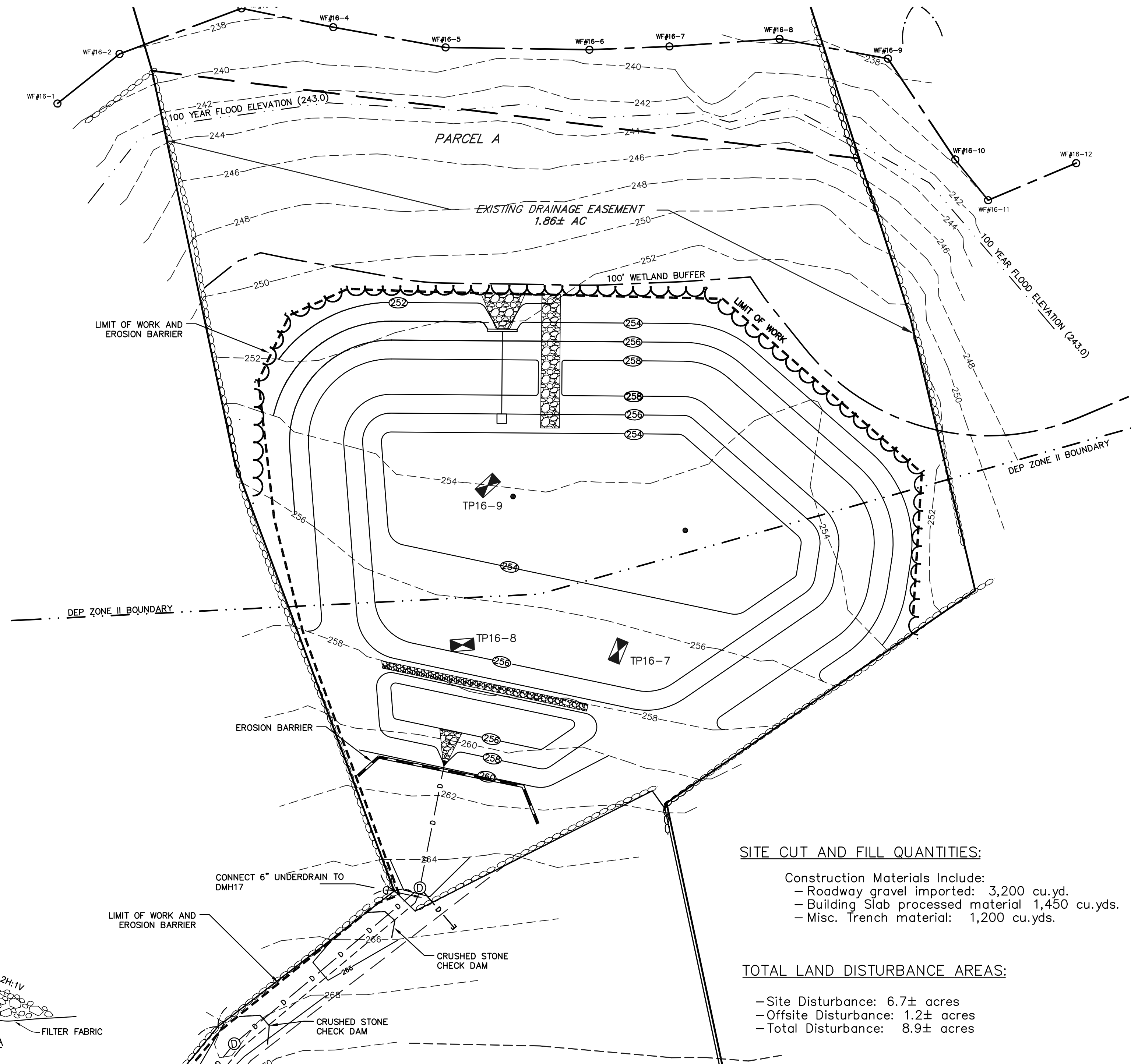
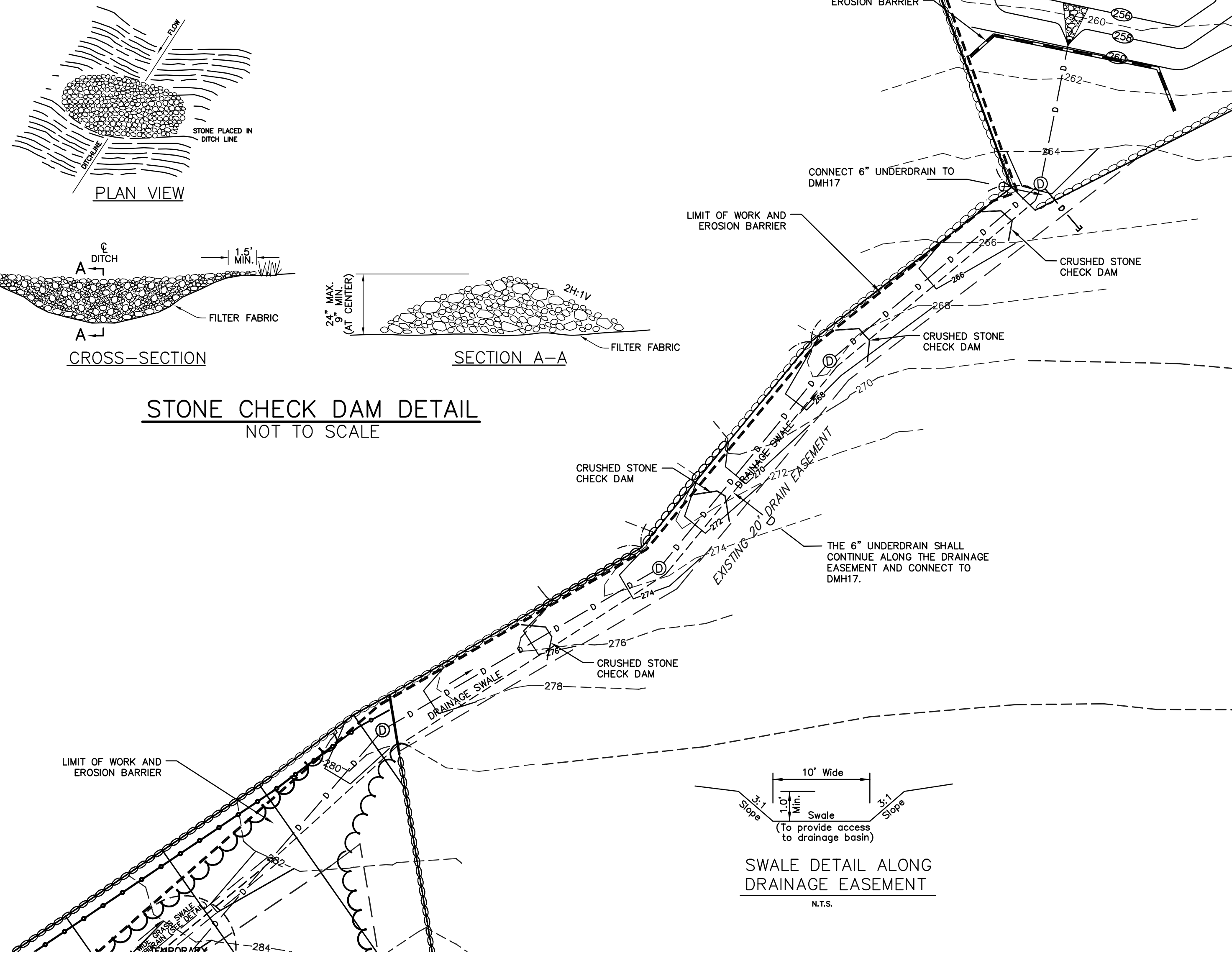
**CROSS-SECTION:** This view shows the ditch from the side. The ditch is labeled 'DITCH' and 'A-A'. The depth of the ditch is indicated as '1.5' MIN.' (1.5 feet minimum). The stones are placed in the ditch line. A 'FILTER FABRIC' is shown at the bottom of the ditch, preventing soil from being washed away while allowing water to pass through.

24" MAX. DEPTH (AT CENTER)

2H:1V

SECTION A-A

FILTER FABRIC

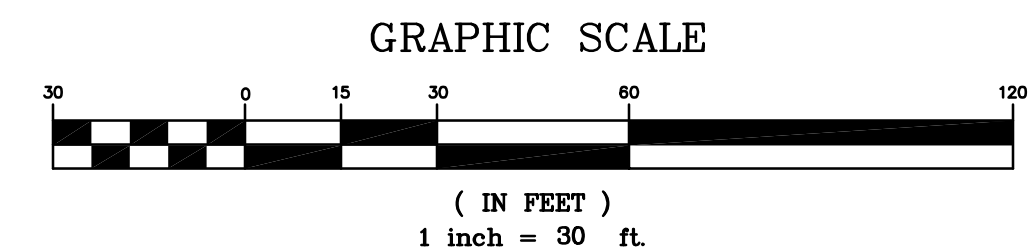


Construction Materials Include:

- Roadway gravel imported: 3,200 cu.yd.
- Building Slab processed material 1,450 cu.yds.
- Misc. Trench material: 1,200 cu.yds.

- Site Disturbance: 6.7± acres
- Offsite Disturbance: 1.2± acres
- Total Disturbance: 8.9± acres

- Pick up any large rocks/boulders, that are not part of a rock wall, and use them for fill on our site or around the retention pond.
- Remove all stumps (previously pulled and piled up by CJP).
- Install, crushed stone/crushed concrete, aprons at both entrances to McCarter's land for truck traffic. We have permission to use these entrances for construction.
- We have permission to remove a section of the rock wall between our site and the McCarter land to use the cleared portion of the McCarter land to store our loam.
- Rake and seed all disturbed areas when done.



## EROSION CONTROL PLAN-2

			REVISIONS		
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
1	05/10/16	BETA COMMENTS	9	01/18/18	CONSTRUCTION DOCUMENTS
2	06/08/16	BETA COMMENTS			
3	11/26/16	B.O.H. Comments			
4	12/21/16	REVIEW COMMENTS			
5	01/05/17	REVIEW COMMENTS			
6	01/16/17	BOH REVIEW COMMENTS			
7	01/31/17	DPW REVIEW COMMENTS			
8	08/22/17	CONSTRUCTION BID			

"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

PREPARED FOR:  
BARBERRY HOMES  
10 SPEEN STREET  
FRAMINGHAM, MA

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[www.GLMengineering.com](http://www.GLMengineering.com)

DRW.: 15664-Site Plan

JOB No. 15664

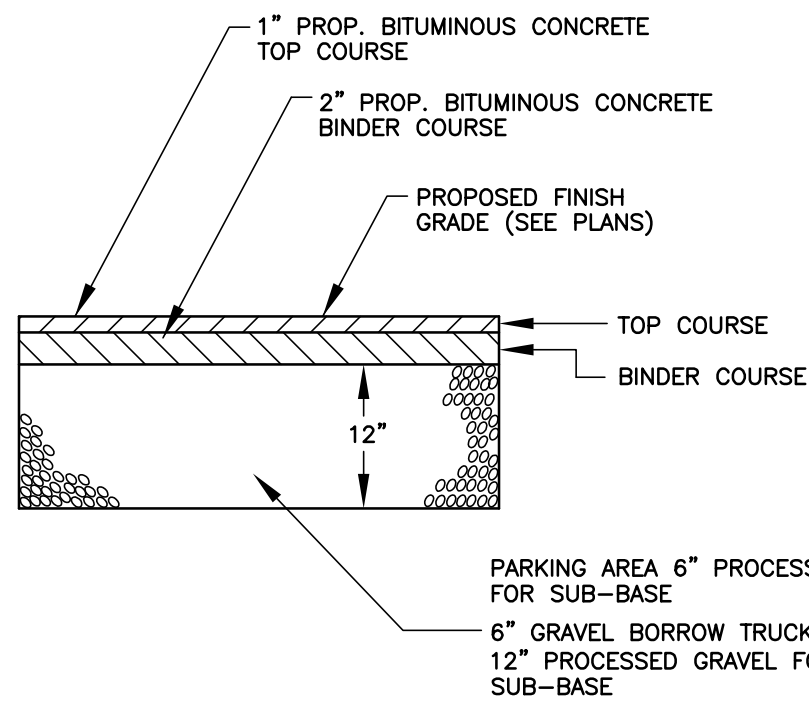
DATE: 03/07/16

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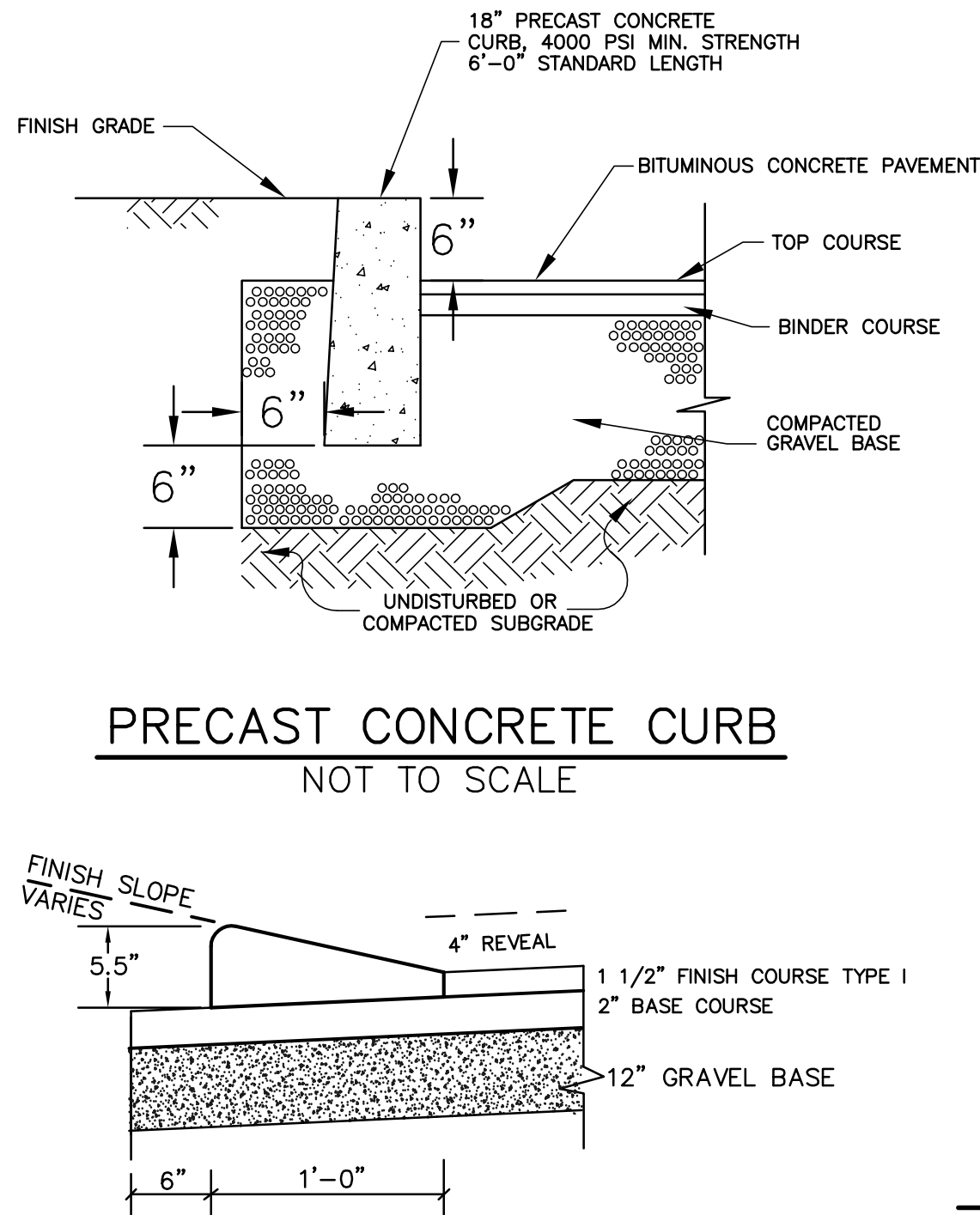
SHEET: C-11

PLAN #: 27.016

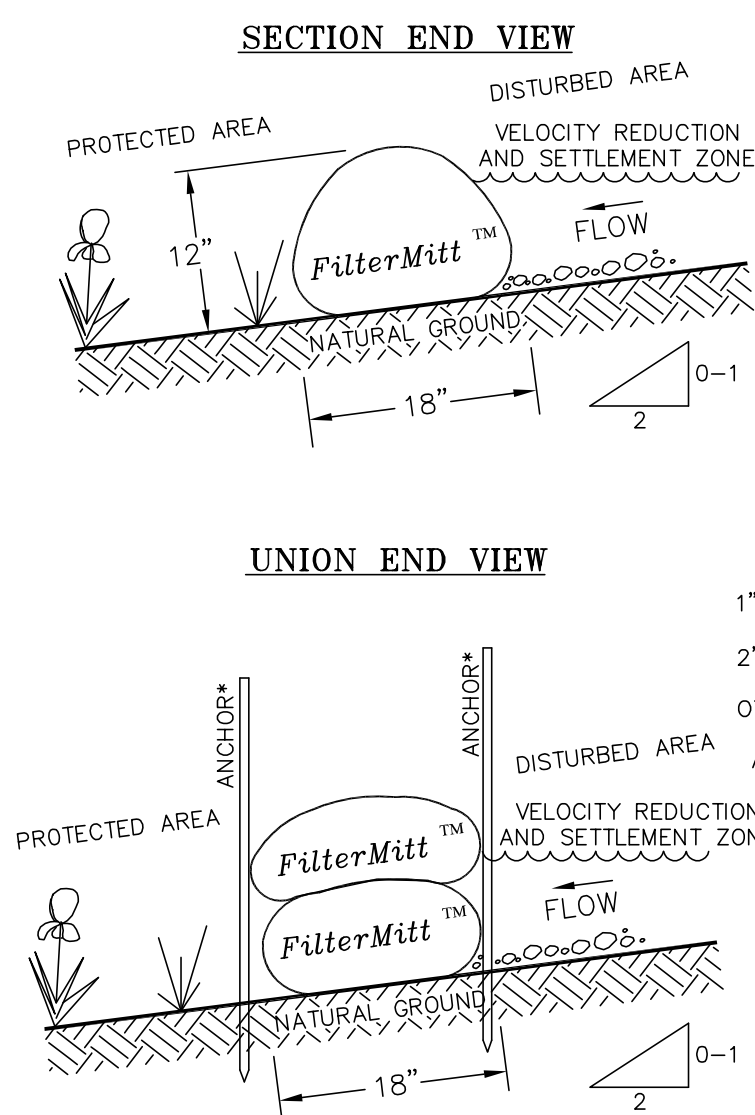




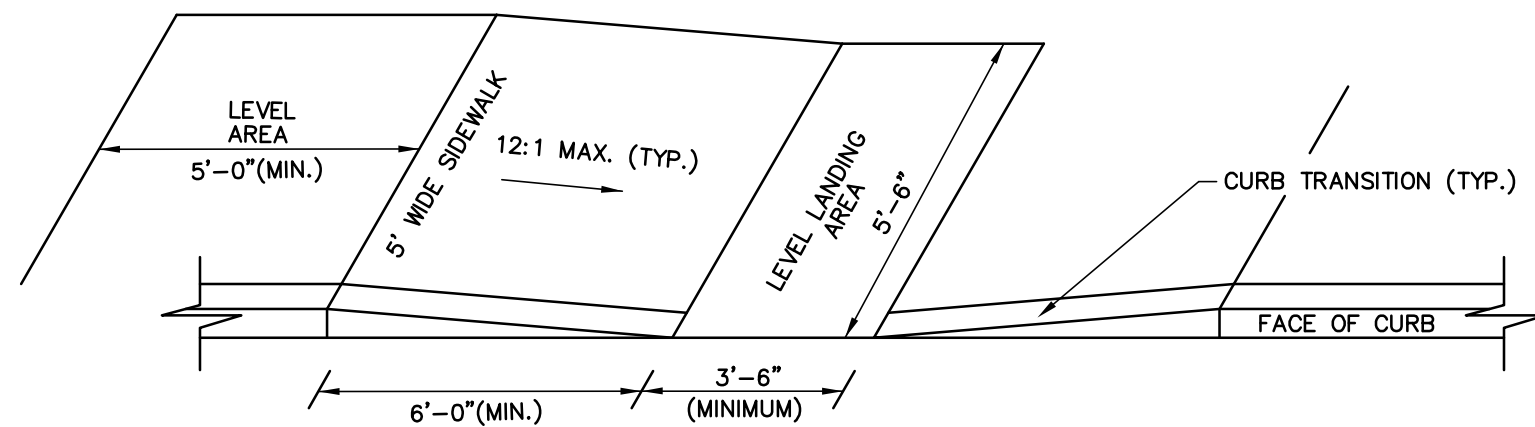
PAVEMENT SECTION  
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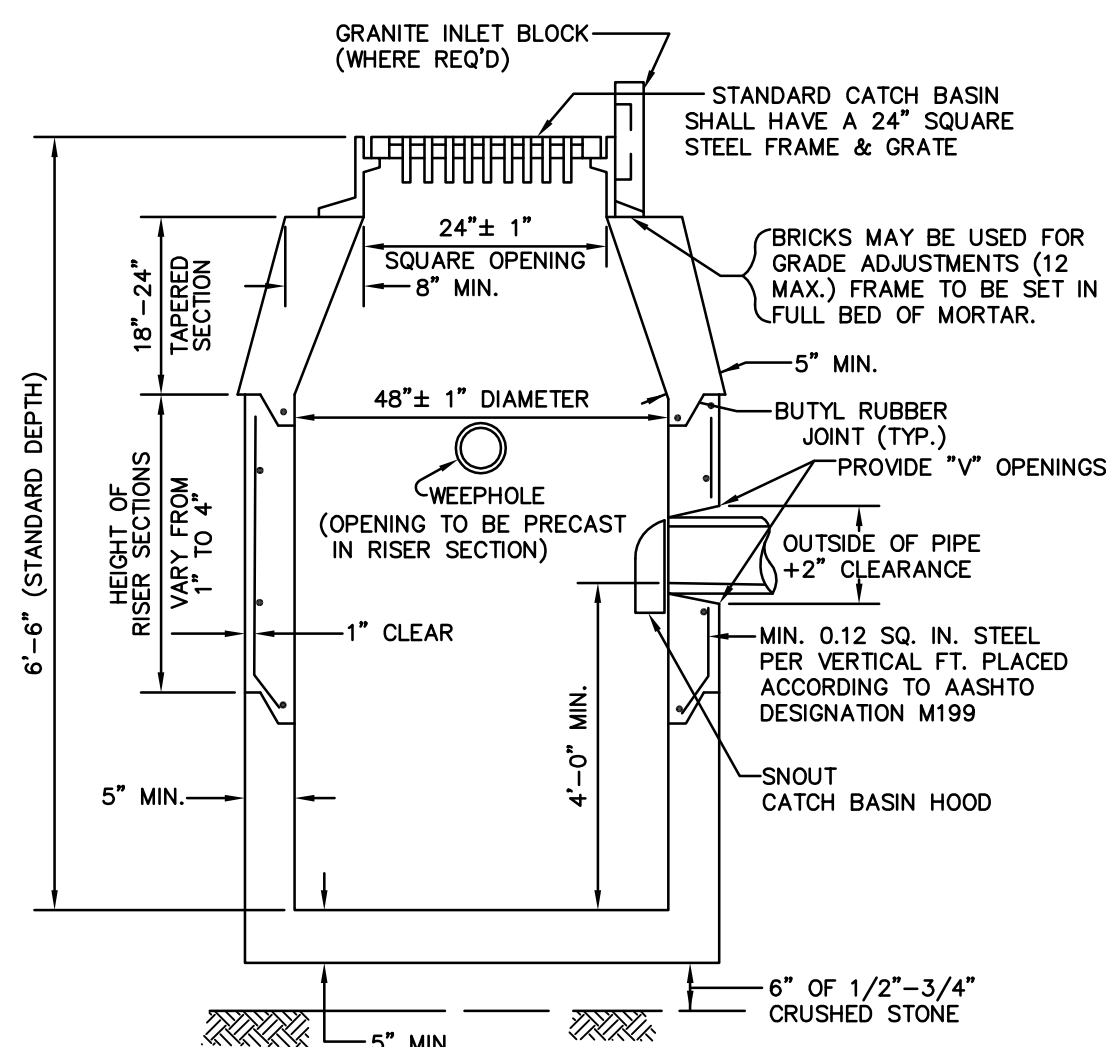
CAPE COD BERM DETAIL  
NOT TO SCALE



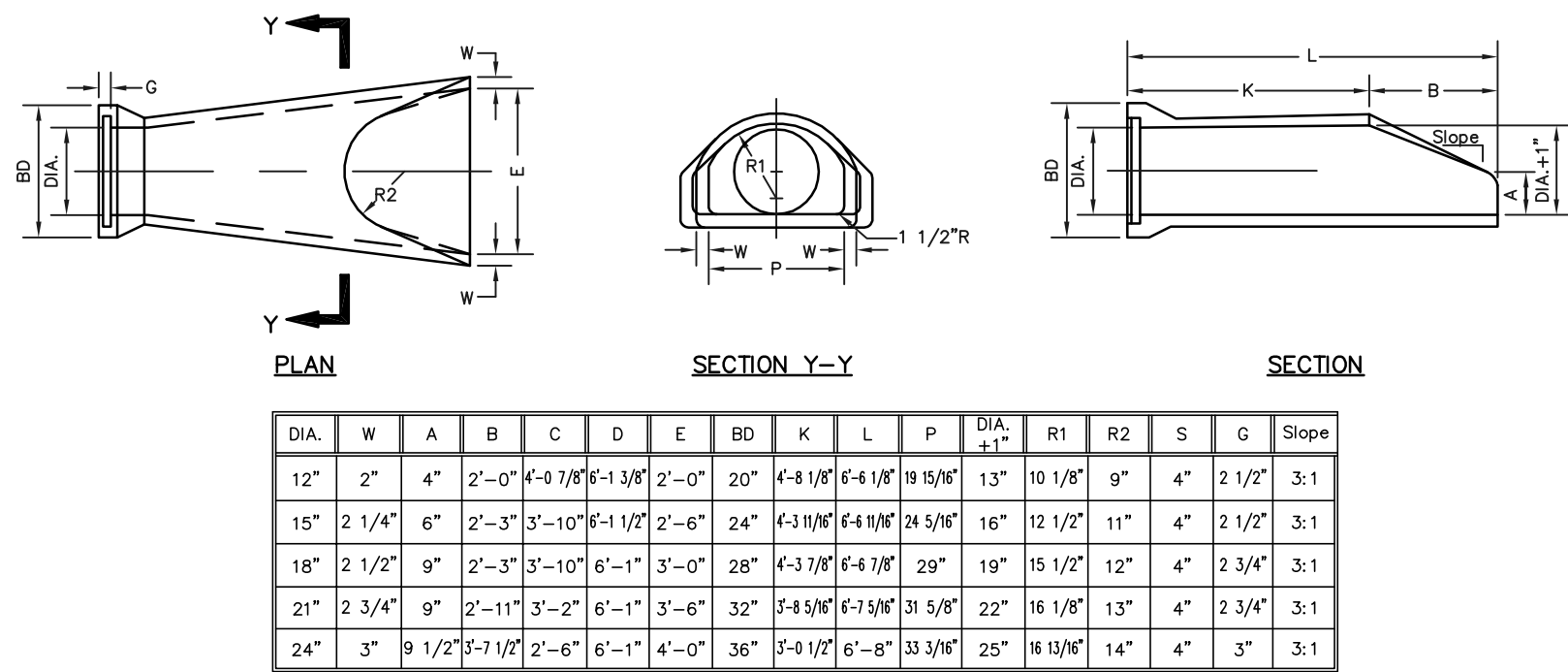
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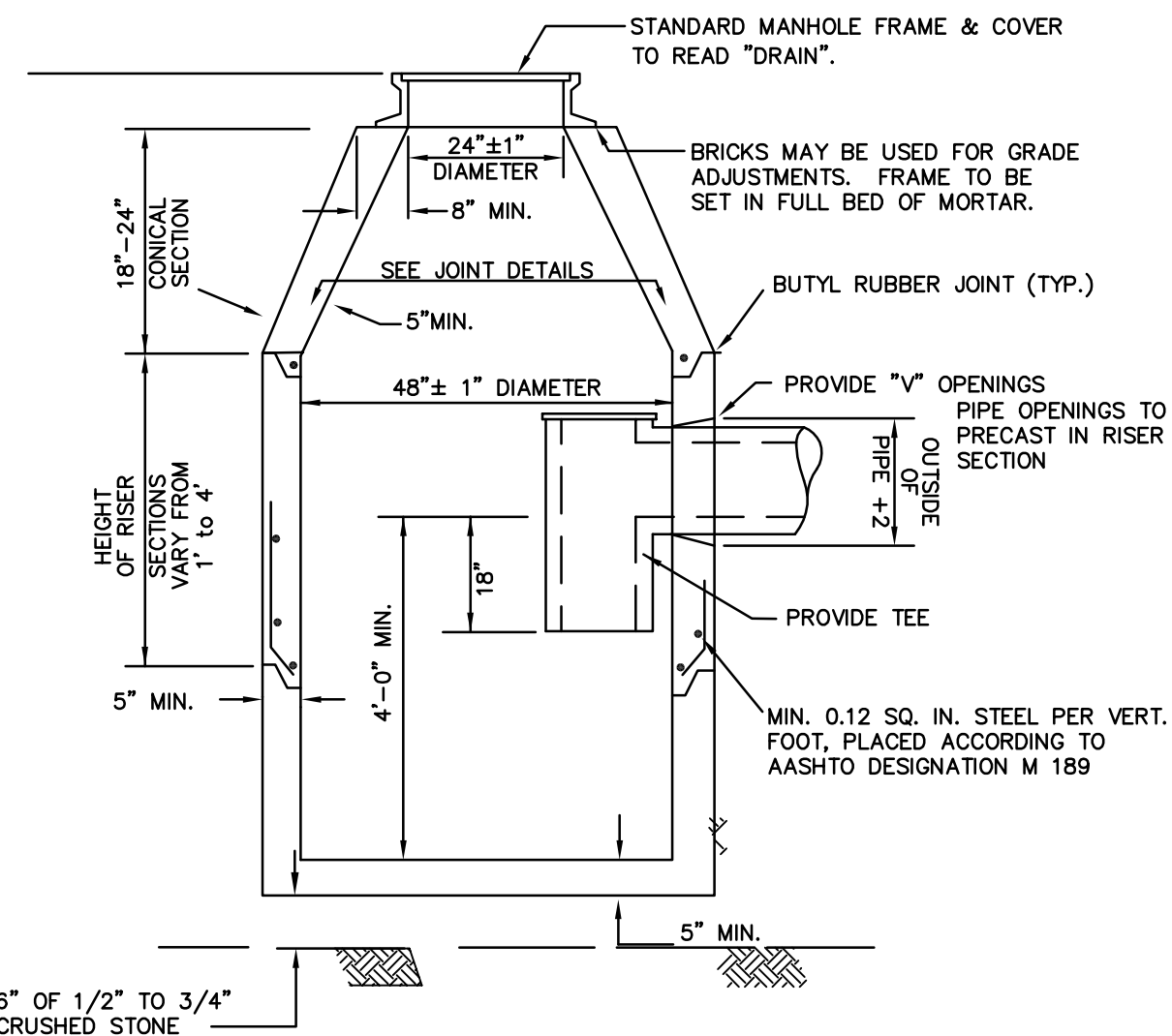
HANDICAP SIDEWALK RAMP  
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN DETAIL  
NOT TO SCALE



R.C.P. FLARED END SECTION DETAILS  
NOT TO SCALE



PRECAST DEEP-SUMP CONCRETE MANHOLE DETAIL  
NOT TO SCALE

APPROVED BY THE  
MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

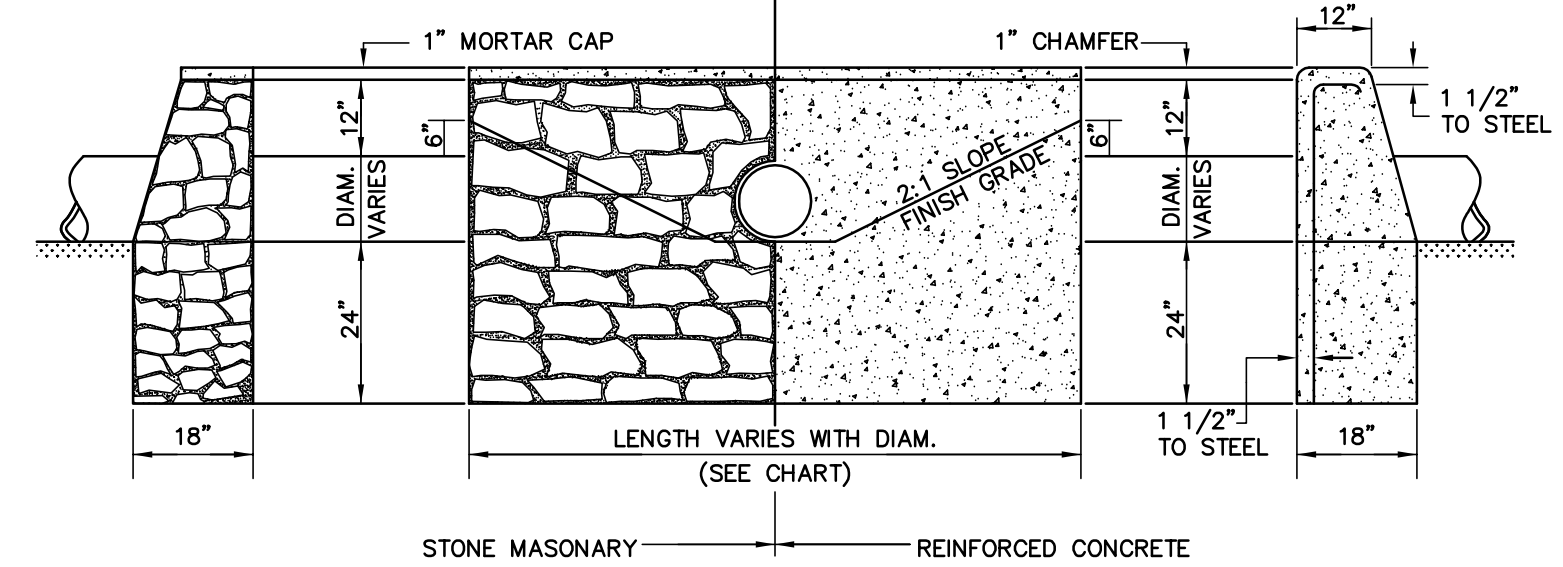
DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF MILLIS,  
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BOARD APPROVAL OF THIS PLAN AND NO  
APPEAL HAS BEEN TAKEN FOR TWENTY DAYS  
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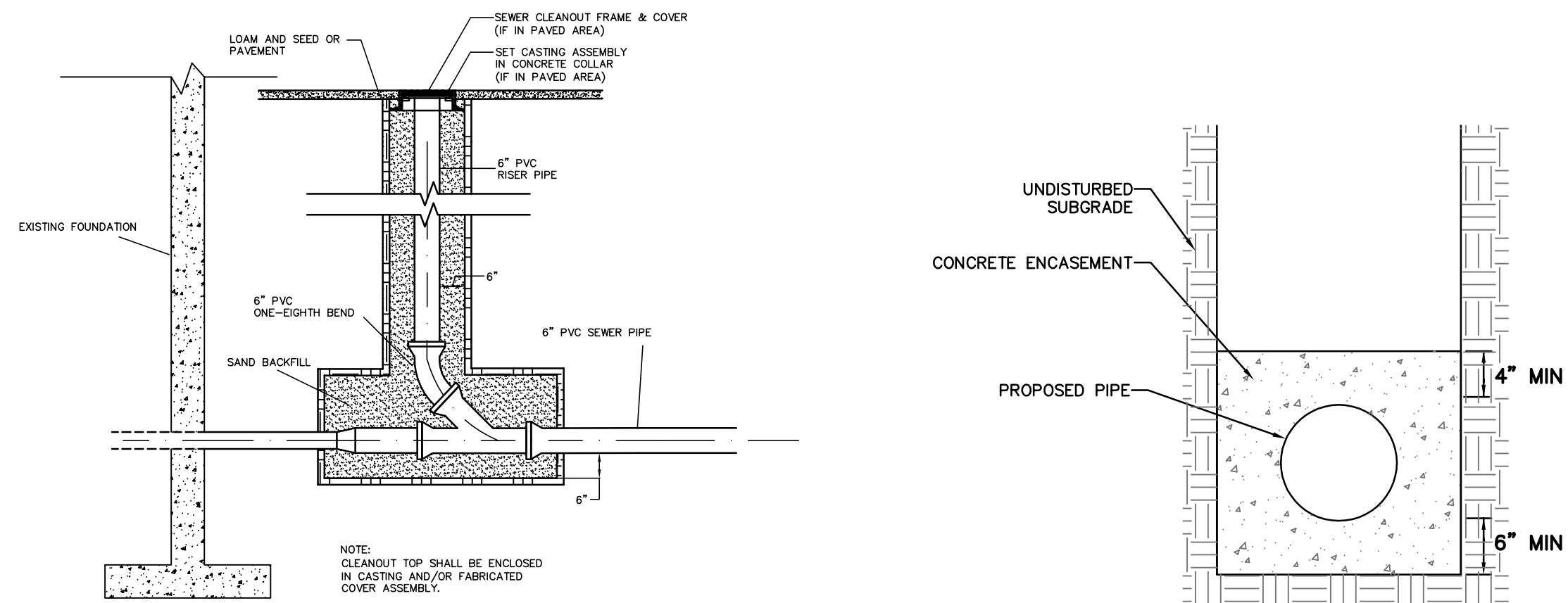
TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

DIAMETER	12"	15"	16"	18"	21"	24"	30"
LENGTH	7'-6"	8'-9"	9'-2"	10'-0"	11'-6"	12'-6"	15'-0"
CONC. (Cu.Yd.)	1.49	1.82	1.94	2.18	2.62	2.97	3.86
STEEL (Lbs.)	26	29	30	32	42	46	56

ALL STEEL SHALL BE #3 REINFORCED BARS,  
SPACED 12" ON CENTER



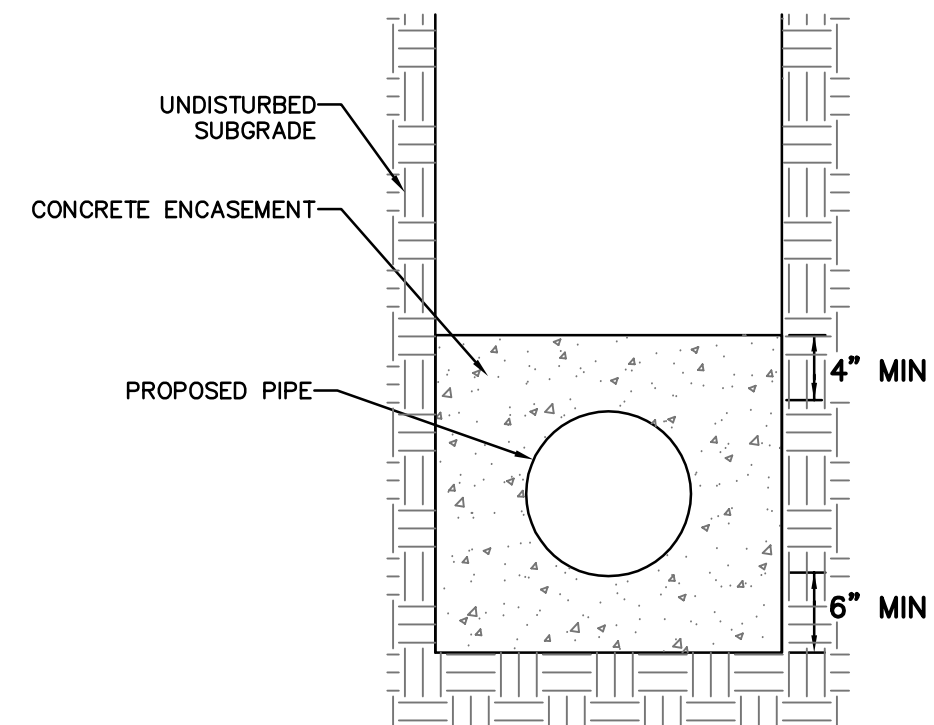
HEADWALL MASONRY & CONCRETE  
N.T.S.



NOTES:

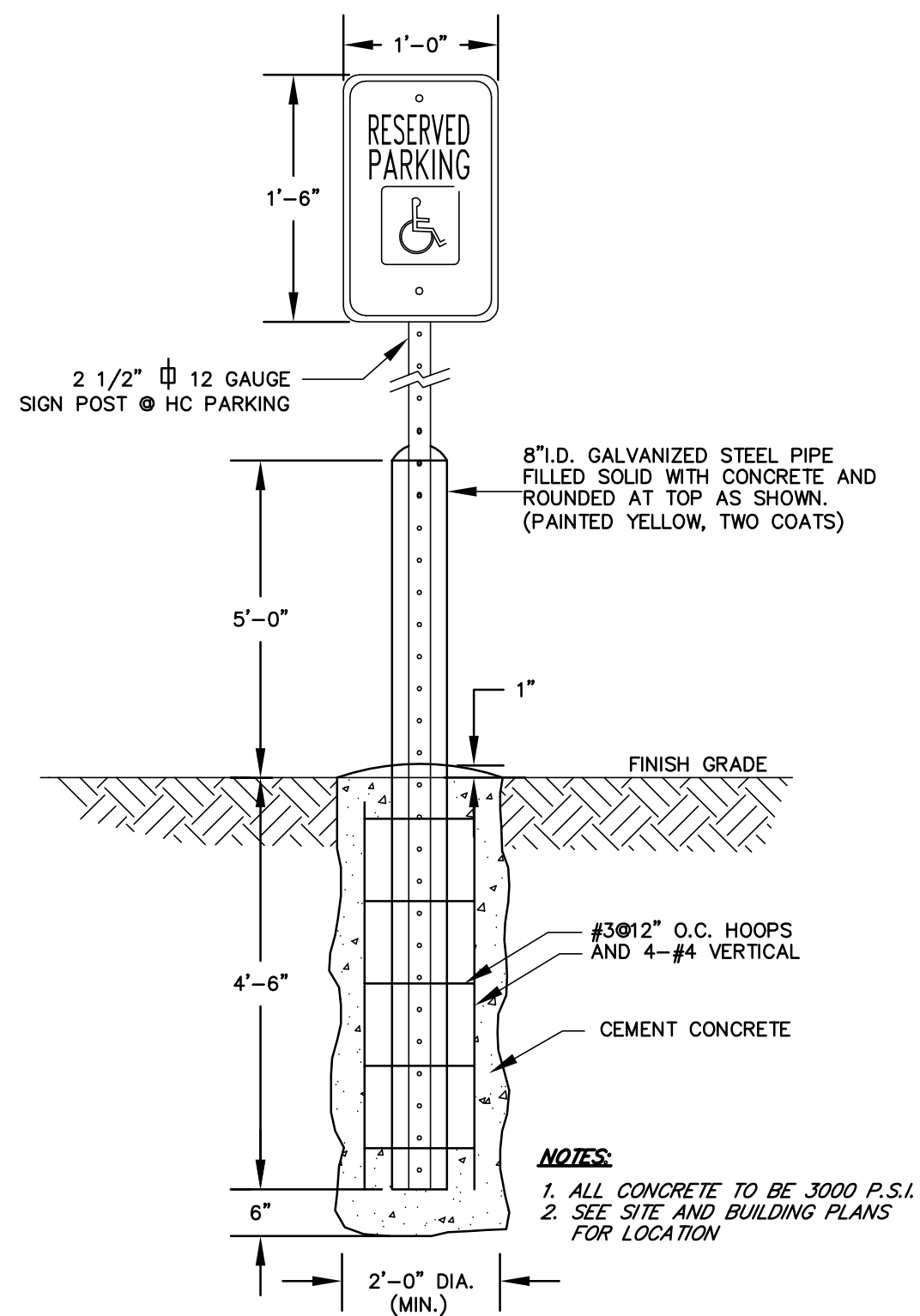
1. SEWER CLEANOUTS SHALL BE TYPICALLY LOCATED A MINIMUM OF 10' FROM THE FOUNDATION. THE 10' ZONE SHALL BE CONSIDERED THE DISTANCE FROM THE INSIDE FACE OF THE FOUNDATION TO A DISTANCE OF 10' OUTSIDE OF THE FOUNDATION, PERPENDICULAR TO THE INSIDE FACE OF THE FOUNDATION.

SEWER CLEANOUT  
NOT TO SCALE



SEWER MAIN TO BE ENCASED IN CONCRETE WHERE 10' HORIZONTAL OF  
18" VERTICAL SEPARATION CANNOT BE ACHIEVED

PIPE ENCASEMENT  
NOT TO SCALE



BOLLARD  
N.T.S.

DETAILS-1

"THE DOVER ROAD RESIDENCES"  
BRIDGE STREET  
MILLIS, MASSACHUSETTS

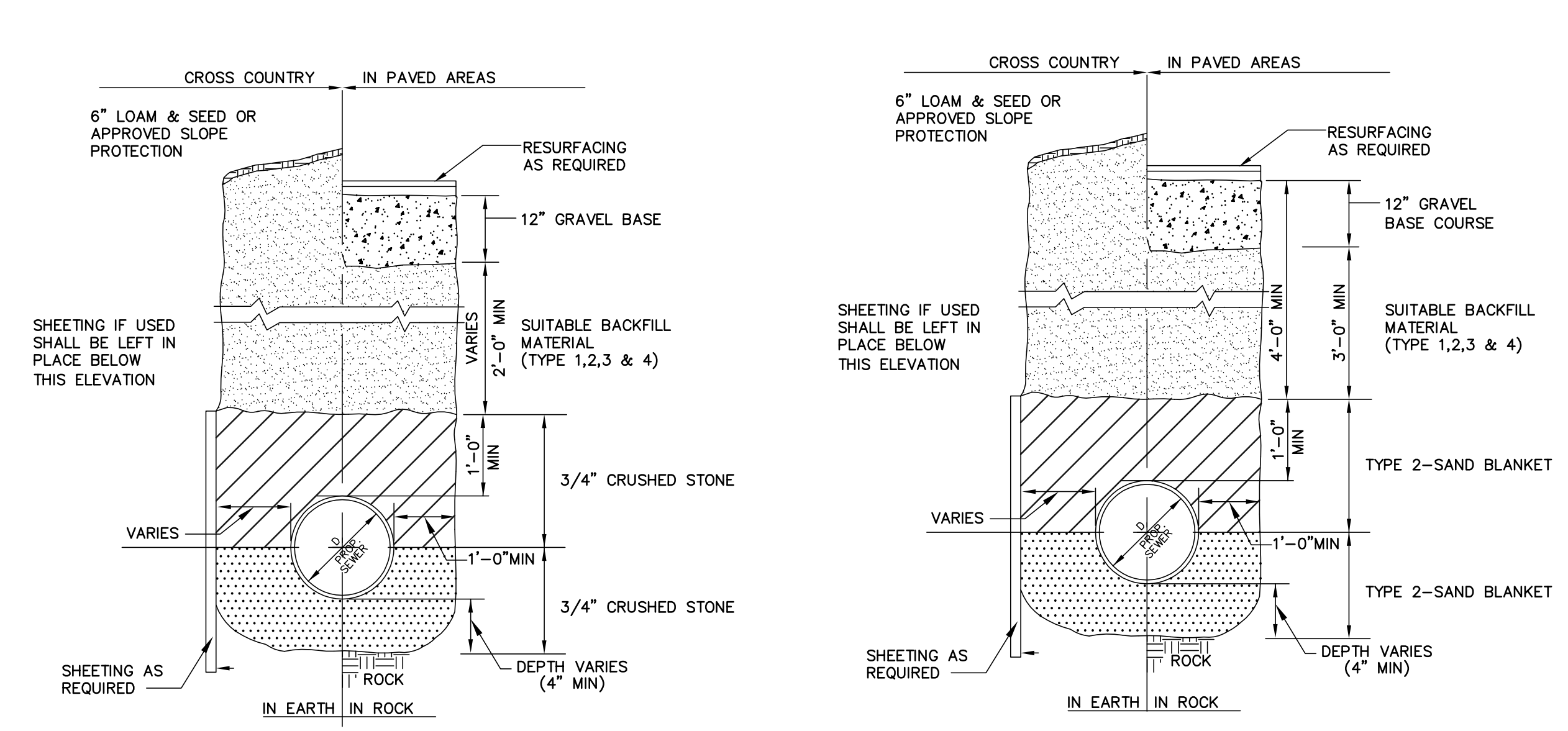
PREPARED FOR:  
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10 SPEN STREET  
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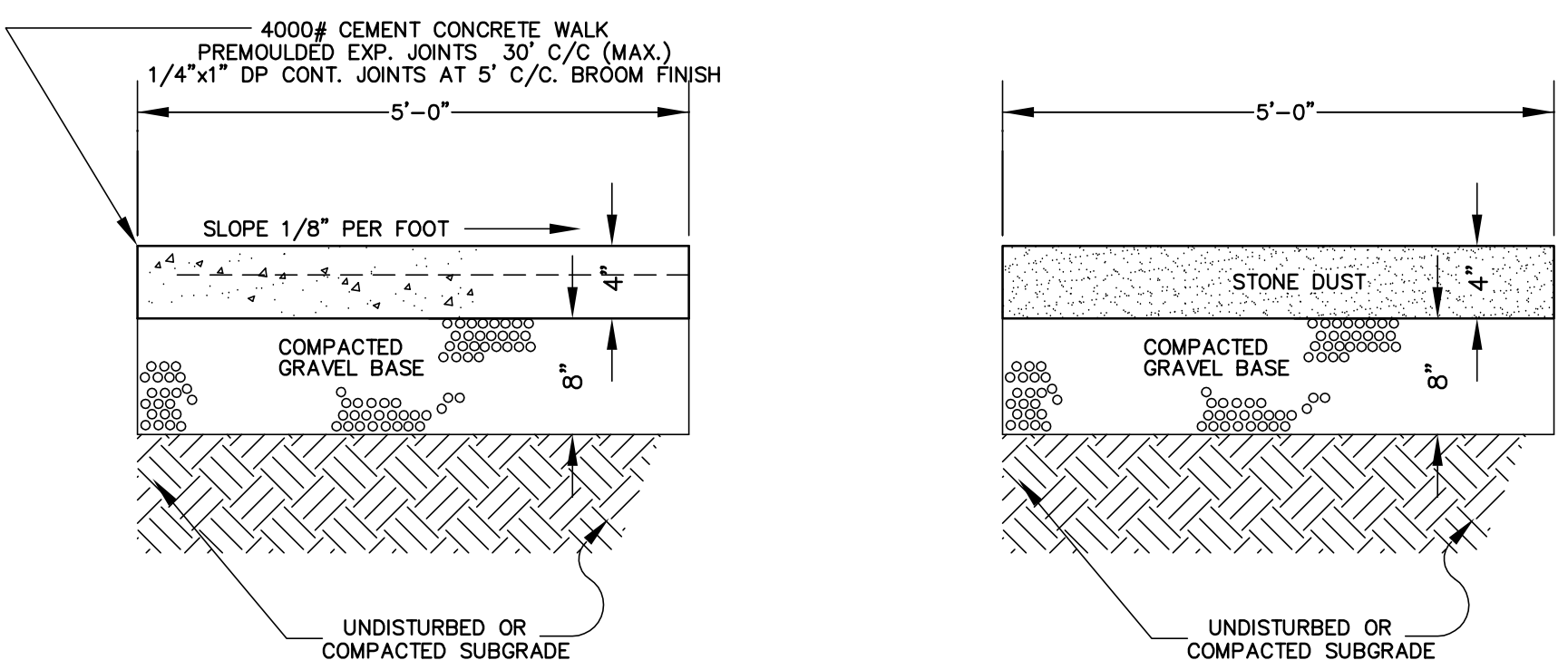
DRW.: 15664-Site Plan  
JOB No.: 15664  
DATE: 03/07/16  
SCALE: NTS  
SHEET: C-12  
PLAN #: 27,016





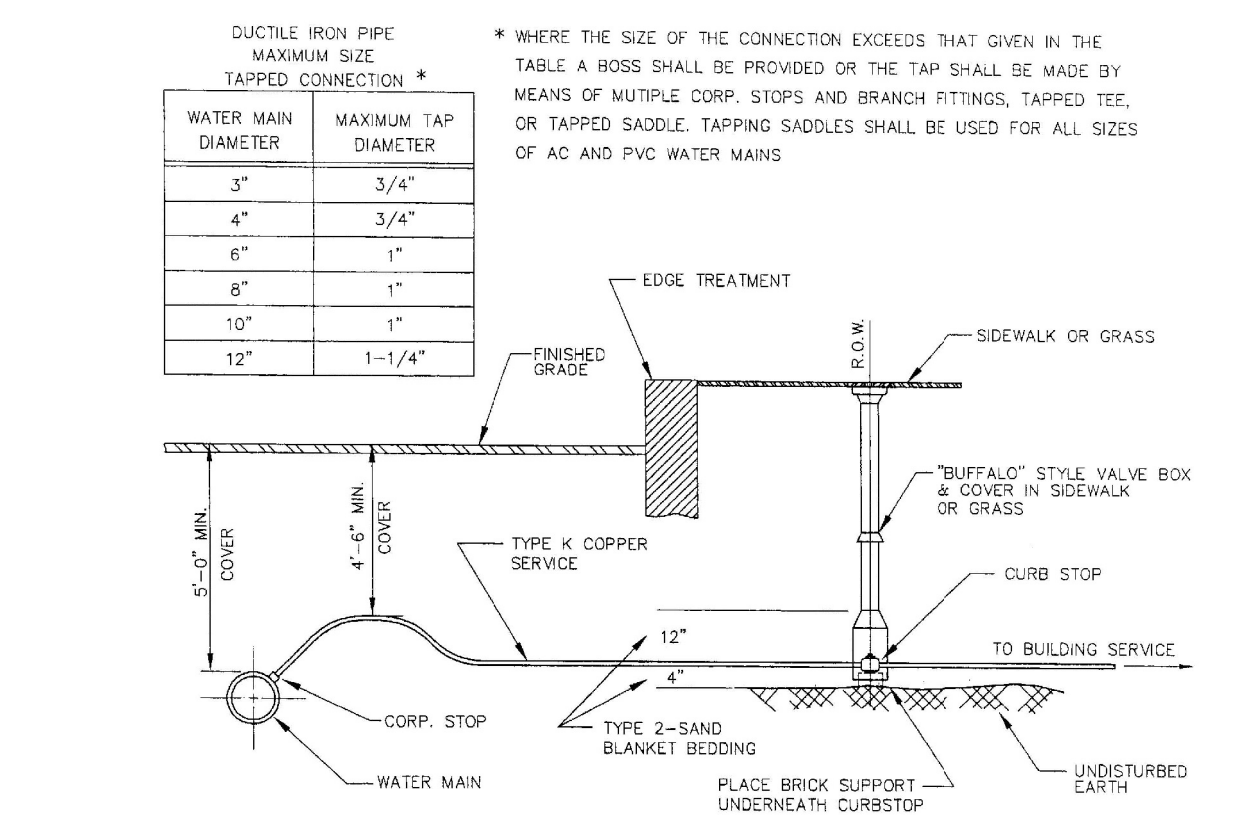
SEWER TRENCH DETAIL  
NOT TO SCALE

WATER TRENCH DETAIL  
NOT TO SCALE

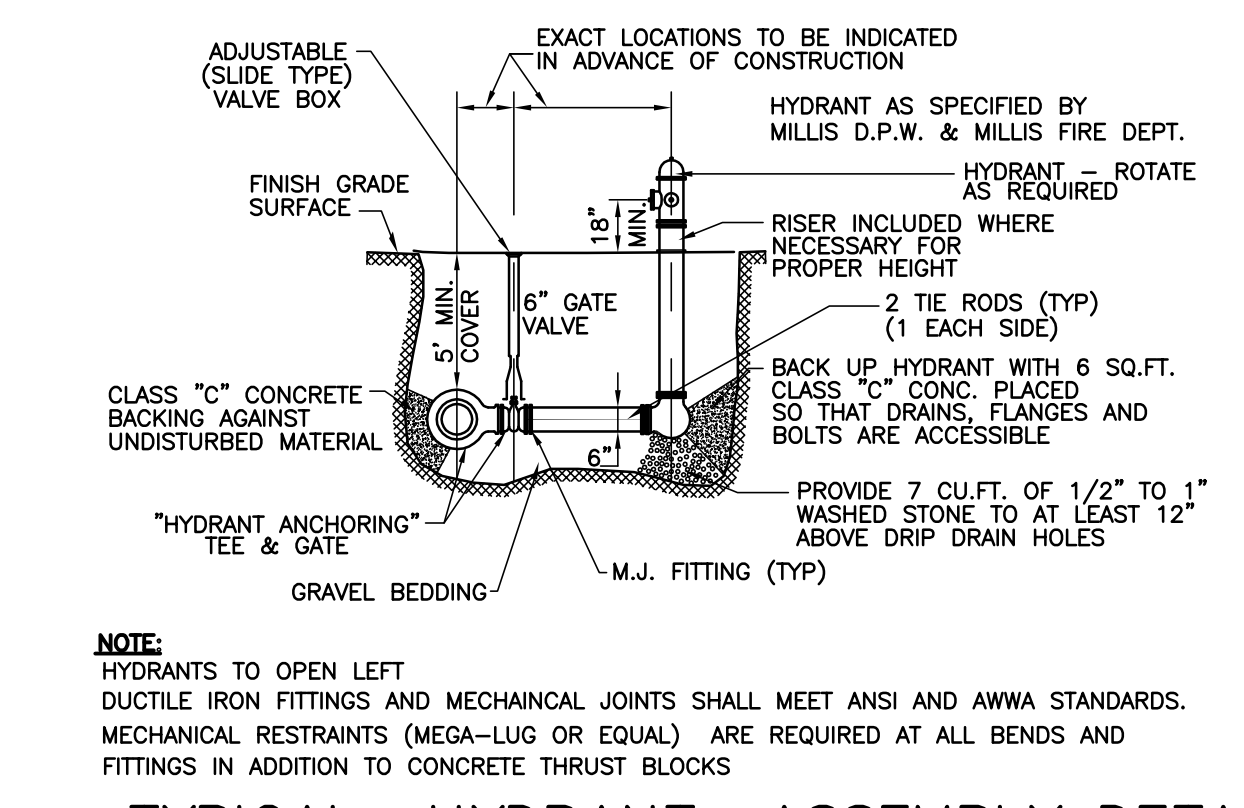


TYPICAL SIDEWALK SECTION  
N.T.S.

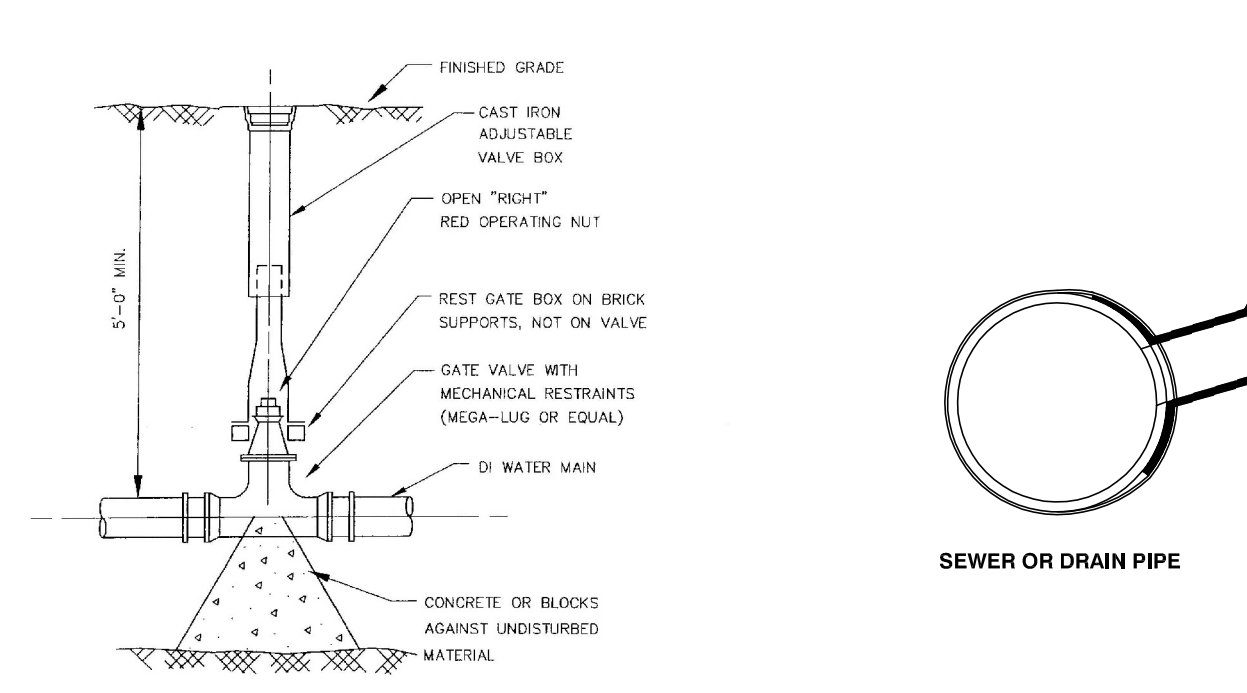
WALKING TRAIL SECTION  
N.T.S.



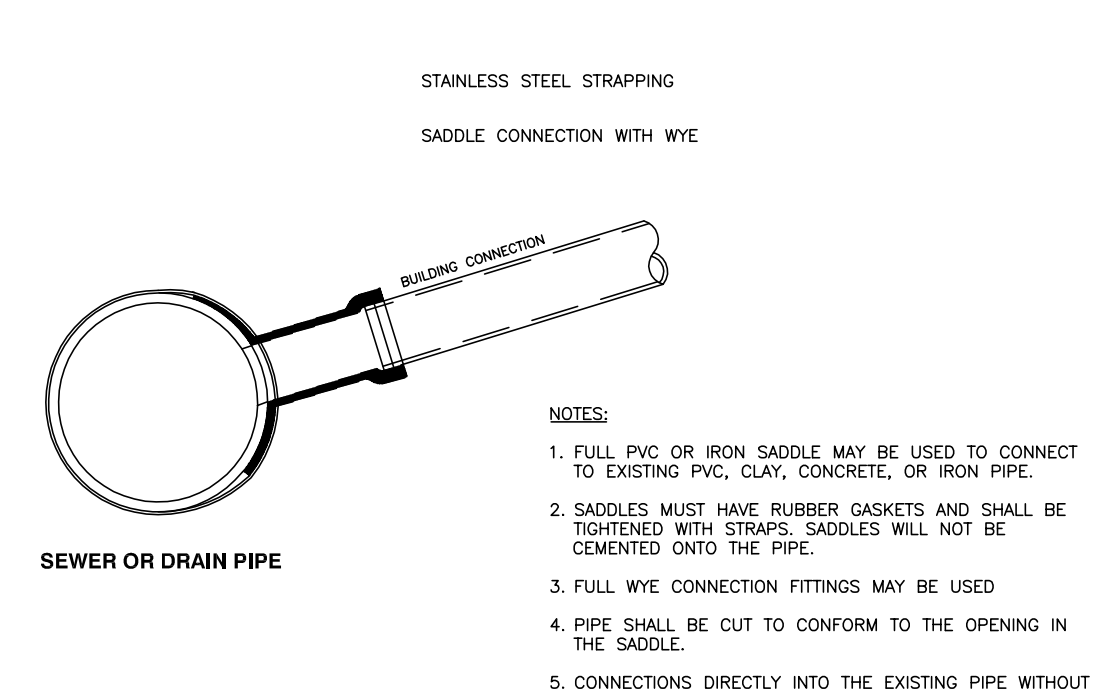
TYPICAL SERVICE CONNECTION  
N.T.S.



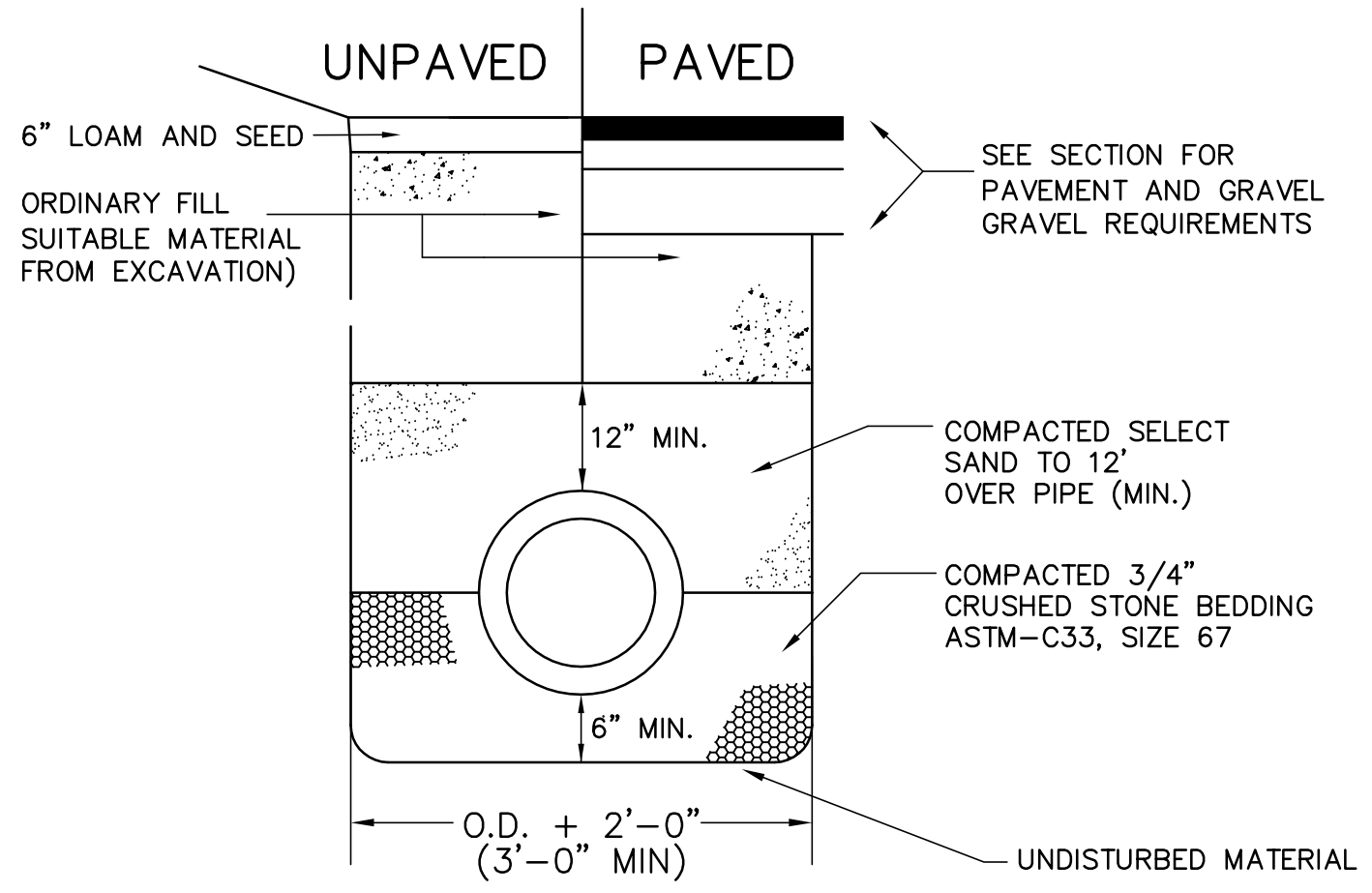
TYPICAL HYDRANT ASSEMBLY DETAIL  
N.T.S.



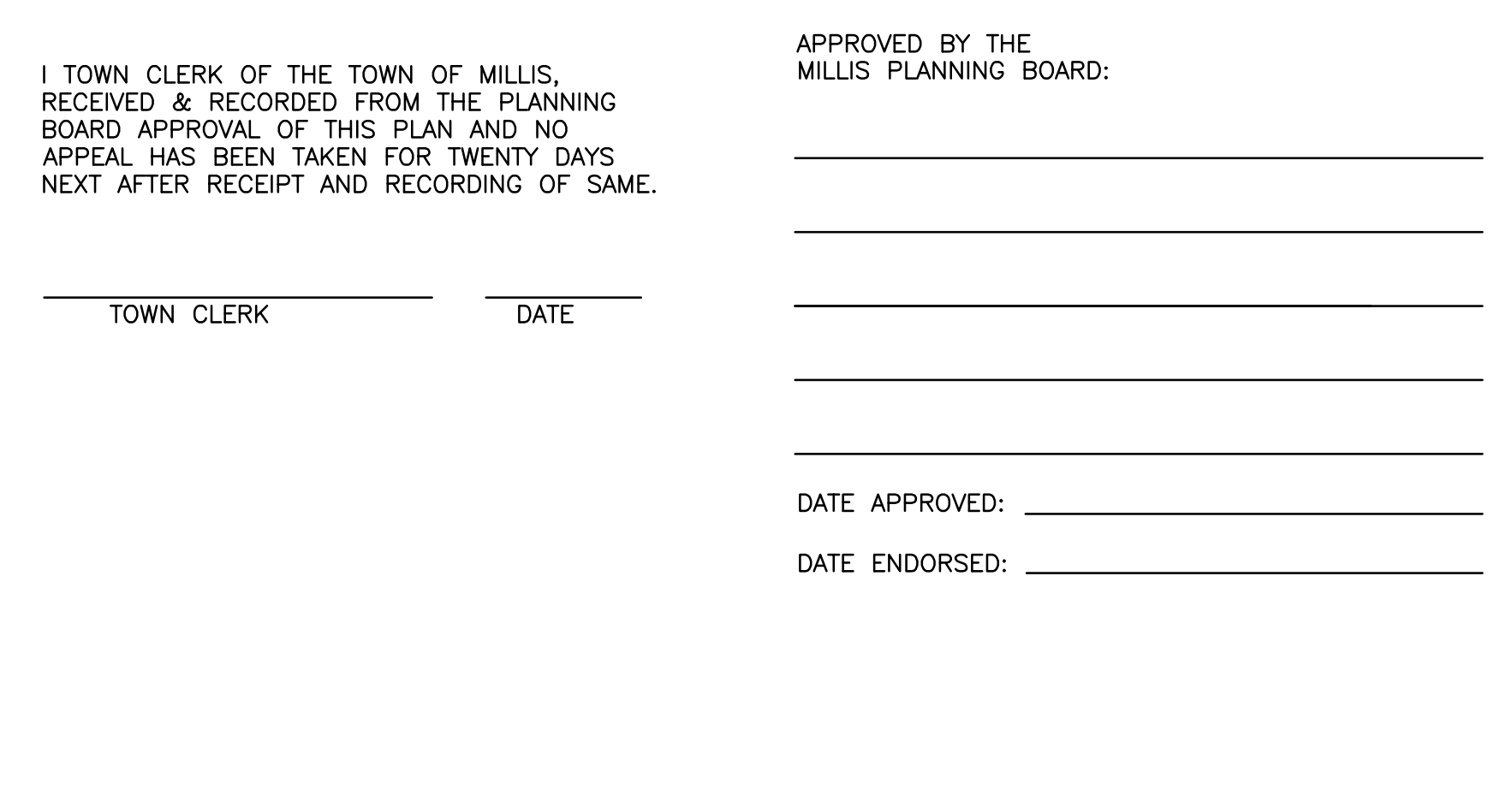
TYPICAL GATE VALVE  
N.T.S.



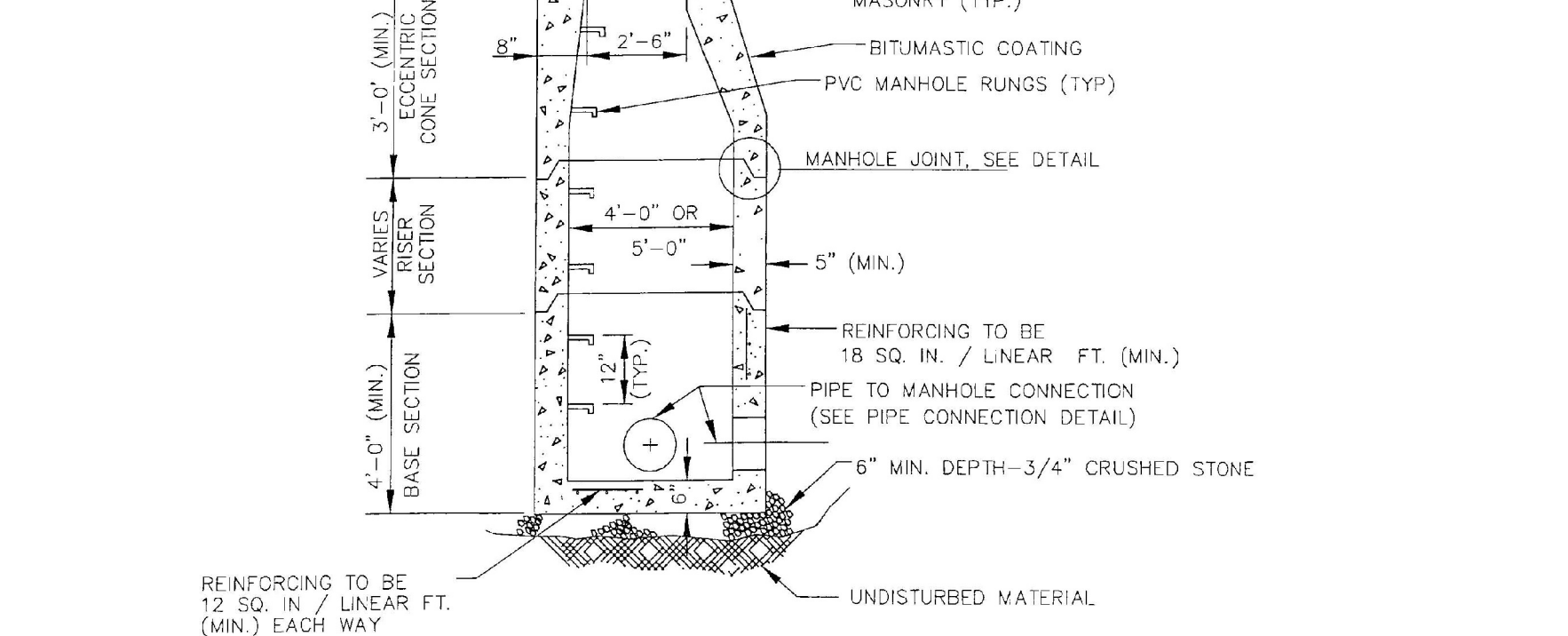
TYPICAL IN-LINE DRAIN/SEWER CONNECTION  
N.T.S.



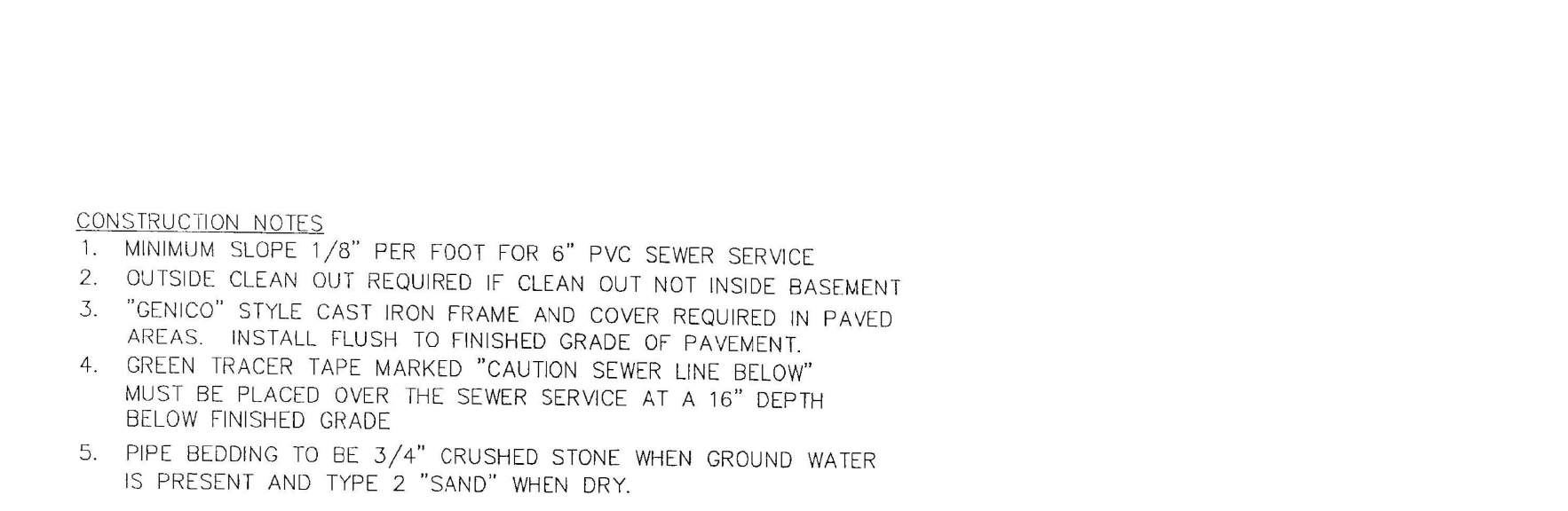
DRAIN TRENCH DETAIL  
NOT TO SCALE



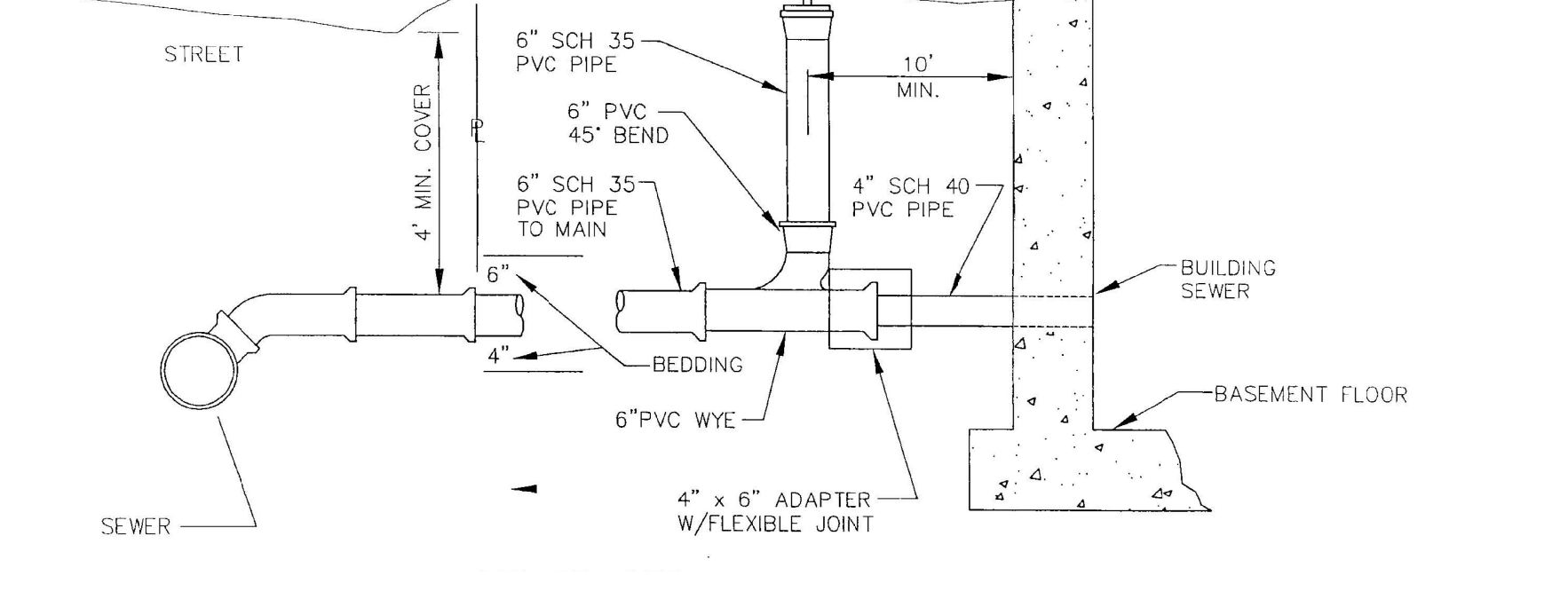
DRAIN TRENCH DETAIL  
NOT TO SCALE



4'-0" & 5'-0" DIA. PRECAST SEWER MANHOLE DETAIL  
N.T.S.



TYPICAL THRUST BLOCK DETAILS  
N.T.S.



SEWER SERVICE LINE  
OUTSIDE CLEANOUT AND FITTINGS  
N.T.S.

REVISIONS		DESCRIPTION	
No.	DATE	DESCRIPTION	CONSTRUCTION DOCUMENTS
9	01/18/18		

No.	DATE	DESCRIPTION
1	05/10/16	BETA COMMENTS
2	06/08/16	BETA COMMENTS
3	11/26/16	B.O.H. Comments
4	12/21/16	REVIEW COMMENTS
5	01/05/17	REVIEW COMMENTS
6	01/16/17	BOH REVIEW COMMENTS
7	01/31/17	DPW REVIEW COMMENTS
8	08/22/17	CONSTRUCTION BID

**"THE DOVER ROAD RESIDENCES"**  
**BRIDGE STREET**  
**MILLIS, MASSACHUSETTS**

PREPARED FOR:  
BARBERRY HOMES  
10 SPEN STREET  
FRAMINGHAM, MA

PREPARED FOR:  
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FRAMINGHAM, MA

**GLM** Engineering  
Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100  
F: 508-429-7160  
www.GLMengineering.com

DRW.: 15664-Site Plan

JOB No. 15664

DATE: 03/07/16

SCALE: NTS

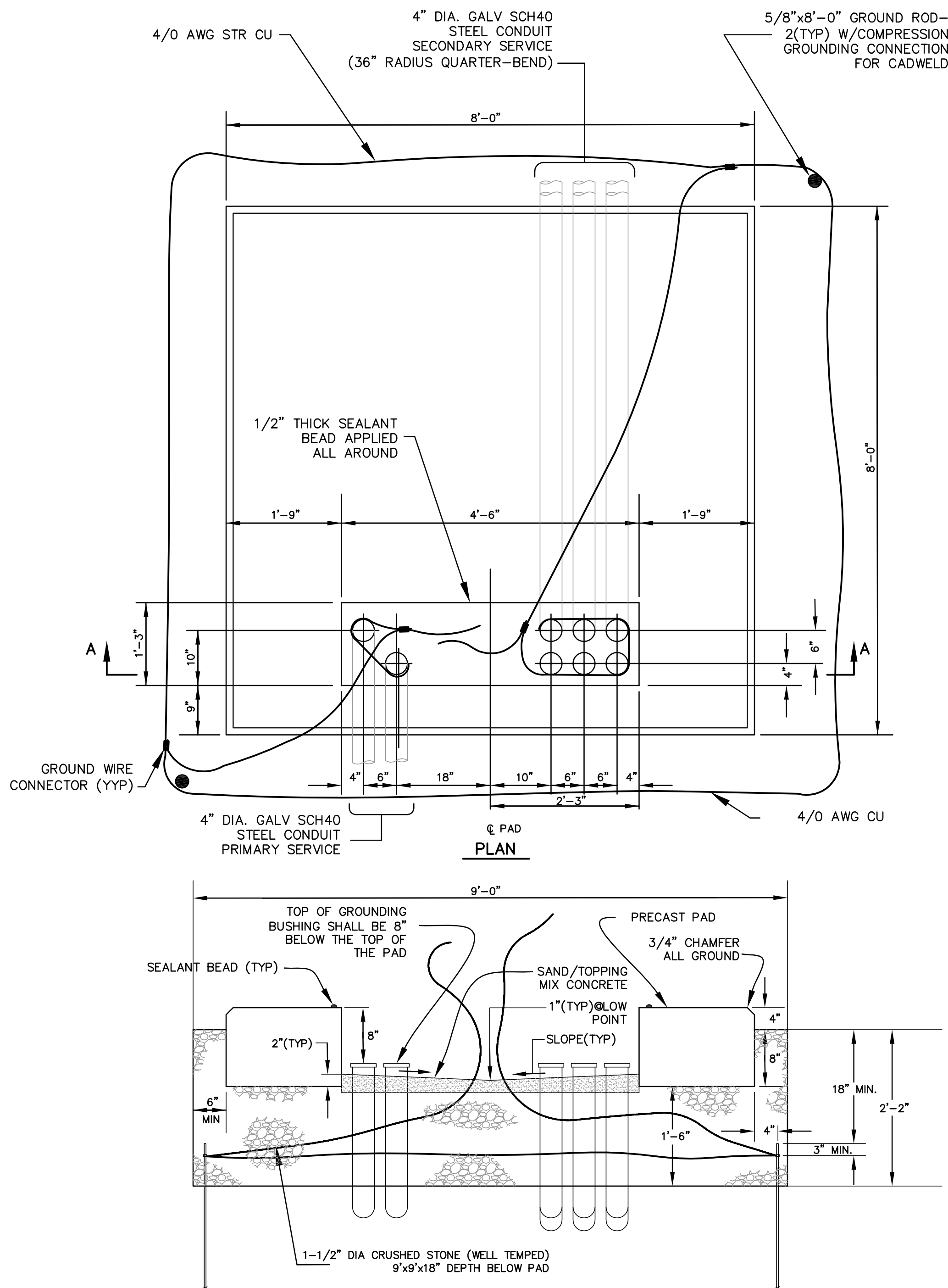
SHEET: C-13

PLAN #: 27,016





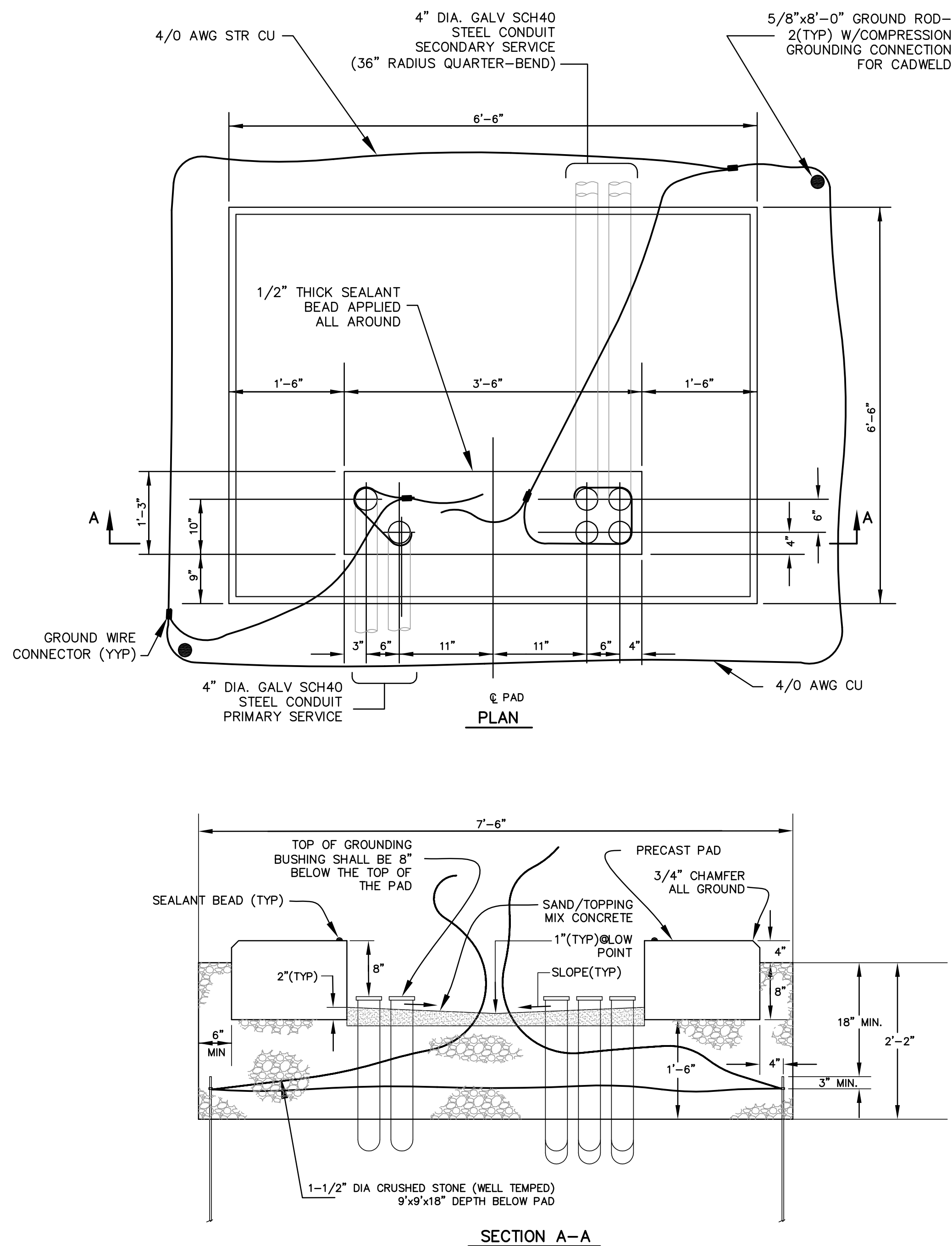




NOTE:  
Detail obtained from NSTAR/Eversource:  
'C3801 R2 Installation of Precast Pad  
Foundations for Three-Phase Transformers',  
date revised 27-Jan-09

PAD#2: THREE PHASE 500-2,500 kVA TRANSFORMER PRECAST PAD  
INSTALLATION AND GROUNDING DETAIL

NOT TO SCALE



NOTE:  
Detail obtained from NSTAR/Eversource:  
'C3801 R2 Installation of Precast Pad  
Foundations for Three-Phase Transformers',  
date revised 27-Jan-09

PAD#1: THREE PHASE 75-300 kVA TRANSFORMER PRECAST PAD  
INSTALLATION AND GROUNDING DETAIL

NOT TO SCALE  
PAD#1 INSTALLED AT BUILDINGS 2 & 3

APPROVED BY THE  
MILLIS PLANNING BOARD:

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

I TOWN CLERK OF THE TOWN OF MILLIS,  
RECEIVED & RECORDED FROM THE PLANNING  
BOARD APPROVAL OF THIS PLAN AND NO  
APPEAL HAS BEEN TAKEN FOR TWENTY DAYS  
NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK \_\_\_\_\_

DATE \_\_\_\_\_

REVISIONS		DESCRIPTION
No.	DATE	CONSTRUCTION DOCUMENTS
9	01/18/18	

REVISIONS		DESCRIPTION
No.	DATE	BETA COMMENTS
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DRW.:	15664-Site Plan
JOB No.	15664
DATE:	03/07/16
SCALE:	NTS
SHEET:	C-15
PLAN #:	27,016

DETAILS-4